



Staff Report

Date: May 21, 2024

To: Advisory Design Review Group

From: Alex Lopez-Vega, Assistant Planner

Subject: 9 Thomas Court, (DRP24-0006)

Recommendation

ADR Group consideration and recommendation to the Town Council regarding the merits of the project and consistency with the Design Review criteria and standards of Ross Municipal Code (RMC) Section 18.41 Design Review.

Project Information

Property Owner: Leland and Kristin Clemons

Applicant: Jochum Architects
Street Address: 9 Thomas Court
Parcel Number: 073-232-36
Zoning: R-1: B-10

General Plan: ML (Medium Low Density)

Flood Zone: X (Moderate Risk)

Project Data

	Code Standard	Existing	Proposed
Lot Area	10,000 SF	13,600 SF	No change
Building Coverage	20%	House 3,249 (22%)	No Change

Project Description

The applicant requests a recommendation from the Town Council for Design Review, and a Demolition Permit. The project proposes an interior and exterior remodel which will include a new gable entry roof, removal of the existing board lap siding and replacing it with cedar shingles with wood trim. The project also proposes to replace the existing windows with new insulated

windows, and a new garage door. A demolition permit is required to alter more than twenty-five percent of the exterior wall coverings of a residence.

A separate application has been submitted for ministerial review of an Accessory Dwelling Unit (ADU) Permit to construct a new attached ADU on top of the existing two-car garage. The ADU Permit application is not subject to discretionary review.

Project plans are included as **Attachment 2**; Project Application and Materials are included as **Attachment 3**.

The proposed project is subject to the following permit approval:

- Design Review Permit is required pursuant to RMC Section 18.41.010 to allow for any project resulting in the removal or alteration of more than twenty-five percent of the exterior walls or wall coverings of a residence.
- Demolition Permit is required pursuant to RMC 18.50.020 for alteration of more than twenty-five percent of exterior wall coverings of a residence.

Background

The project site is a 13,600 square-foot lot on Thomas Court. The lot has a single-family residence which includes an attached garage, and a pool. The property is home to an extensive collection of trees and mature vegetation.



Discussion

The overall purpose of the Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include; provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town", low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individuals buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development. The Design Review criteria and standards per RMC Section 18.41.100 can be found here: 18.41 Design Review.

Public Comment

At the time of writing this report, no comments were received from the public regarding the project.

Attachments

- 1. Project Plans
- 2. Project Application & Materials

ATTACHMENT 1



Clemons Residence • 9 Thomas Ct. Ross CA





Lightweight Slate Roofing

SlateTec Semi-weathering Vermont Grey



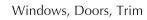
Copper Gutters & RWLs

Weathering Copper



Fire Treated Cedar Sidewall Shingles

Watkins Sawmills Oriental Teak



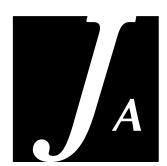
Stone White



Stone Veneer @ Chimney & Foundation

Eldorado Stone Polermo

Clemons Residence Renovations & ADU



9 THOMAS CT. ROSS, CA

A D D D E \ // A T I O N C

ABBRE	VIATIONS		
& @ #	AND AT NUMBER	H.P. H.R. HT.	HIGH POINT HAND RAIL HEIGHT
A.B.	ANCHOR BOLT	HTR. H.W.	HEATER HOT WATER
A/C	AIR CONDITIONING		
ACOUS. A.D.	ACOUSTICAL AREA DRAIN	I.D. IN.	INSIDE DIAMETER INCH
ADDL. ADJ.	ADDITIONAL ADJUST, ADJUSTABLE	INSUL. INT.	INSULATION INTERIOR
ADJAC. AGGR.	ADJACENT AGGREGATE	INTER.	INTERMEDIATE
ALUM.	ALUMINUM	JT. JST.	JOINT JOIST
ALT. APPROX.	ALTERNATE APPROXIMATE	KIT.	KITCHEN
ARCH. ASPH.	ARCHITECTURAL ASPHALT	L.	LOWER
A/V	AUDIO/VISUAL	LAM.	LAMINATE
BD. BLDG.	BOARD BUILDING	LAV. LB.	LAVATORY POUND (WEIGHT)
BLK. BLKG.	BLOCK BLOCKING	LIN. L.P.	LINEAL, LINEAR OR LINEN LOW POINT
BM.	BEAM	LT.	LIGHT
B.O. BTWN.	BOTTOM OF BETWEEN	M. MACH.	MASTER MACHINE
CAB.	CABINET	MAINT. MAT.	MAINTENANCE
C.B. C.B.C.	CATCH BASIN CA BUILDING CODE	MAX.	MATERIAL MAXIMUM
C.E.C. C.M.C.	CA ELECTRICAL CODE CA MECHANICAL CODE	M.B. M.C.	MACHINE BOLT MEDICINE CABINET
C.P.C. CEM.	CA PLUMBING CODE CEMENT, CEMENTICIOUS	MECH. MEMB.	MECHANICAL MEMBRANE
C.I.	CAST IRÓN	MFR. MIN.	MANUFACTURER MINIMUM
C.J. CKTP.	CONSTRUCTION JOINT COOKTOP	MISC. ML	MISCELLANEOUS MICROLAM
CL. CLG.	CLOSET CEILING	MNT.	MOUNT
CLKG. CLR.	CAULKING CLEAR	M.O. MSRY.	MASONRY OPENING MASONRY
C.M.U. C.O.	CONCRETE MASONRY UNIT CASED OPENING	MTD. MTL.	MOUNTED METAL
COL.	COLUMN	MW	MICROWAVE
COMMUN. COMP.	COMMUNICATIONS COMPOSITION	(N) N	NEW, TO BE ADDED NORTH
CONC. COND.	CONCRETE CONDITION	N N.I.C. NO.	NOT IN CONTRACT NUMBER
CONN. CONST.	CONNECTION CONSTRUCTION	NOM.	NOMINAL
CONT. CONTR.	CONTINUOUS CONTRACTOR	N.T.S.	
COOR.	COORDINATE	OA. OBS.	OVERALL OBSCURE
CSWK.	CARPET CASEWORK	O.C. O.D.	ON CENTER OUTSIDE DIAMETER
C.T. CTOP.	CERAMIC TILE COUNTERTOP	OFCI	OWNER FURNISHED - CONTRACTOR INSTALLED
CTR. CTSK.	CENTER COUNTERSINK	OFF. OH.	OFFICE OVERHEAD
C.W.	COLD WATER	OPNG. OPP.	
D DBL.	DRYER OR DRAWER DOUBLE		
DEPT. DET.	DEPARTMENT DETAIL	P.B. PERIM.	
l 5-	DOLLOLAC FID	PRKG. PL	PARKING PLATE, PROPERTY LINE,
DIA. DIAG.	DOUGLAS FIR DIAMETER DIAGONAL DIMENSION DIRECTION (GARBAGE) DISPOSAL DOWN DAMP PROOFING	P.LAM.	PARALAM PLASTIC LAMINATE
DIM. DIR.	DIMENSION DIRECTION	PLAS. PLYWD.	PLASTER PLYWOOD
DISP. DN.	(GARBAGE) DISPOSAL DOWN	PNL. PNT.	PANEL PAINT OR PAINTED PAIR
D.P. DS	DAMP PROOFING DOWNSPOUT	PR.	PAIR PER SQUARE INCH POINT
DSPR.	DISPENSER	PSI PT.	PER SQUARE INCH POINT
DWG.	DIRECTION (GARBAGE) DISPOSAL DOWN DAMP PROOFING DOWNSPOUT DISPENSER DISHWASHER DRAWING DRAWER	P.T. P.T.D.	PAIR PER SQUARE INCH POINT PRESSURE TREATED PAPER TOWEL DISPENSER
(E)	EXISTING, TO REMAIN	QTY.	QUANTITY
È	EAST	S	SOUTH
EA. E.J.	EACH EXPANSION JOINT	SHT. S.C.D	SOUTH SHEET SEE CIVIL DRAWINGS SEE INTERIORS DRAWINGS SEE LANDSCAPE DRAWINGS SEE STRUCTURAL DRAWINGS
EL. ELEC.	EXPANSION JOINT ELEVATION ELECTRICAL, ELECTRONIC ELEVATOR	S.I.D.	SEE INTERIORS DRAWINGS
ELEV. E.N.	ELEVATOR END NAIL	S.S.D.	SEE LANDSCAPE DRAWINGS SEE STRUCTURE
E.W. ENCL.	EACH WAY ENCLOSURE	ST. STL.	
EQ. EQPT.	EQUAL EQUIPMENT	T & B TB	TOP AND BOTTOM TOWEL BAR
EXP.	EXPANSION, EXPOSED	TC TEL.	TRASH COMPACTOR TELEPHONE
EXT.	EXPANSION, EXPOSED EXTERIOR FIRE ALARM FORCED AIR UNIT	TEMP. TER.	TEMPERED TERRAZZO
F.A.U.		T & G THK.	TONGUE AND GROOVE THICK
F.D. FDN.	FLOOR DRAIN FOUNDATION	TJI	TRUSS JOIST
F.E. FIN.	FIRE EXTINGUISHER FINISH, FINISHED	T.N. T.O.	TOE NAIL TOP OF
FIXT. FLR.	FIXTURE FLOOR	T.O.C. T.O.F.	TOP OF CURB TOP OF FINISH
FLRG. FLASH.	FLOOR FLOORING FLASHING	T.O.PL. T.O.W.	TOP OF PLATE TOP OF WALL
FLUOR.	FLUORESCENT	T.P.D. T.P.H.	TOILET PAPER DISPENSER TOILET PAPER HOLDER
F.N. F.O.C.	FIELD NAIL FACE OF CONCRETE	TRANSP. TV	TRANSPARENT TELEVISION
F.O.F. F.O.S.	FACE OF FINISH FACE OF STUDS	TYP.	TYPICAL
FP FPRF.	FIREPLACE FIREPROOFING	U.B.C.	UNIFORM BUILDING CODE
FR. FRG.	FRAME FRAMING	U.C. UNEXC.	UNDER COUNTER UNEXCAVATED
FT.	FOOT OR FEET	UNF. U.O.N.	UNFINISHED UNLESS OTHERWISE NOTED
FTG. FURR.	FOOTING FURRING	VAR.	VARIES
G.	GAS OUTLET, GALLON	V.C.T. V. BAR.	VINYL COMPOSITION TILE VAPOR BARRIER
GA. GALV.	GAUGE GALVANIZED	VEN.	VENEER
G.B. GEN.	GRAB BAR GENERAL	VERT. VEST.	VERTICAL VESTIBULE
GFI	GROUND FAULT CIRCUIT INTERRUPTER	VIN. VOL.	VINYL VOLUME
GL. GND.	GLASS GROUND	W	WEST, (CLOTHES) WASHER, WATT(S)
GR.	GRADE	W/ W/D	WITH WASHER & (CLOTHES) DRYER
G.S.M. GYP.BD.	GALVANIZED SHEET METAL GYPSUM BOARD	WC WD.	WATER CLOSET (TOILÉT)
H.	HIGH	W.H.	WOOD WATER HEATER
HB HCP.	HOSE BIB HANDICAP	WHT. W/O	WHITE WITHOUT
H.C. HD.	HOLLOW CORE HEAD	W.P. W.P.M.	WATERPROOF WATERPROOF MEMBRANE
HDR. HDWD.	HEADER HARDWOOD	WSCT. WT.	WAINSCOAT WEIGHT
HDW.	HARDWARE	W.R. WUI	WATER RESISTANT WILDLAND URBAN INTERFACE
HT. H.M.	HEIGHT HOLLOW METAL	W.W.F.	WELD WIRE FABRIC

PROJECT DATA

Zoning:

Occupancy:

Construction Type:

Assessor's Parcel No.:

Minimum Allowable Site Are Actual Site Area (SF):	14,615			
	Zoning Req't.	Existing Bldgs.	Proposed Project	Change
Building Coverage *1	20%	22.8%	22.2%	-0.5%
Entry Flr.+Garage	+Stor.	3,326	3,249	(77)
Floor Area Ratio (F.A.R.) *2 House SF	20%	30.9%	30.9%	0.0%
Upper Floor		1,185	1,261	+76
Entry Floor		2,816	2,834	+18
Garage		415	415	+0
Storage		95	0	(95)
Total Floor Area SF		4,511	4,510	(1)
ADU	*3 800	0	800	+800
TERRACE		0	79	+79
Remodel Area				
Upper Floor		1,185		
Entry Floor		400		
Total Remodel Area		1,185		
Building Height	30'-0"	24'-2"		0
Setbacks				
NW (front)	25'-0"	26'-8"	26'-8"	0
West (side)	15'-0"	25'-9"	25'-9"	0
South (side)	15'-0"	15'-3"	15'-3"	0
East (rear)	40'-0"	53'-8"	53'-8"	0
North (side)	15'-0"	14'-4"	14'-4"	0
ADU South Side Stair	4'-0"	N/A	15'-1"	N/A

R-1:B-10

073-232-36

Fire Sprinklers Req'd? Yes

R-3/U

V-B

*1 Building coverage includes all house and accessory building areas, deck areas more than 18" above grade, and all overhangs except the first 24".

(1 covered & enclosed) (two in garage)

*2 Allowable Floor Area includes all house and accessory building areas and deck areas more than 18' above grade. Does not include finished attic areas used only for storage that do not meet code requirements for habitable space and not accessible by permanent stairs. Does not include finished

APPLICABLE CODES ALL CONSTRUCTION SHALL COMPLY

(two in garage)

WITH THE FOLLOWING CODES: 2022 CALIFORNIA BUILDING CODE

2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA FIRE CODE

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 WILDLAND URBAN INTERFACE CODE ROSS MUNICIPAL CODE TITLE 12, 15, 17, 18

3. DO NOT SCALE THESE DRAWINGS.

PERFORMING ANY RELATED WORK.

CONFORMANCE WITH THE APPROVED DRAWINGS.

GENERAL NOTES

4. THESE DOCUMENTS, PREPARED BY JOCHUM ARCHITECTS, ARE INSTRUMENTS OF SERVICE FOR USE SOLEY WITH RESPECT TO THIS PROJECT. JOCHUM ARCHITECTS RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT. THE OWNER SHALL NOT REUSE OR PERMIT THE REUSE OF THE DOCUMENTS EXCEPT BY MUTUAL AGREEMENT IN WRITING.

1. STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE STRUCTURAL ENGINEER FOR

2. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR OMMISSIONS IN THE DRAWINGS, OR OF ANY

FIELD CONDITIONS THAT ADVERSELY AFFECT THE DESIGN OF THE PROJECT, PRIOR TO

5. ALL UTILITIES ARE FED UNDERGROUND.

6. DEFERRED SUBMITTALS: • FIRE SPRINKLERS (SEE NOTE 7 BELOW)

 ROOF TRUSS ENGINEERING DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW & FORWARD THEM TO THE BLDG. OFFICIAL WITH A NOTATION INDICATING THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

7. FIRE PROTECTION SPRINKLER SYSTEM MUST BE CONSISTENT WITH NFPA-13D AND LOCAL FIRE PROTECTION SPRINKLER ORDINANCE.

8. INSULATION VALUES: (TO BE COMPLETED AT TIME OF BLDG. PERMIT SUBMITTAL) WALLS: MIN. ***R-13 (2x4)***R-19 (2x6)*** (SPRAY FOAM) UNDERFLOOR - RAISED WOOD FRAMING: MIN. R-19 (FOIL FACED BATTS) ROOF: MIN. ***R-22***R-30*** (SPRAY FOAM)

9. SPACE HEAT WILL BE PROVIDED BY A NEW ELECTRIC HEAT PUMP. DOMESTIC HOT WATER WILL BE PROVIDED BY THE EXISTING GAS-FIRED HIGH EFFICIENCY WATER HEATER FOR THE MAIN HOUSE & NEW ELECTRIC ON-DEMAND UNIT FOR ADU.

10. PROVIDE MIN. 20' OF #4 GA. COPPER WIRE IN LOWEST PORTION OF FDN. FOOTING AS GROUND SOURCE FOR ELEC. PNL.

11. ADDRESS NUMBERS MUST BE MIN. 4" TALL AND 1/2" STROKE. WILL BE ILLUMINATED (MAX 5 W., NO SCREW BASE) & CONTROLLED BY PHOTOCELL ONLY (NO MANUAL SWITCH), S.L.D. FOR LOCATION. ALL NEW AND EXISTING STRUCTURES ABUTTING ON ANY PUBLIC OR PRIVATE STREET, AVENUE, DRIVE, ROAD, PLACE, OR LANE WITHIN THE CITY SHALL BE GIVEN AND MARKED WITH AN OFFICIAL ADDRESS NUMBER. THE BUILDING OFFICIAL SHALL DECIDE THE PROPER NUMBER TO BE ASSIGNED TO ANY STRUCTURE. ALL REQUESTS FOR NEW ADDRESSES OR CHANGE OF ADDRESS SHALL BE REVIEWED AND APPROVED BY THE BUILDING OFFICIAL. ADDRESS NUMBERS SHALL BE INSTALLED AS DESCRIBED IN CITY OF SAN RAFAEL STANDARD "PREMISES IDENTIFICATION" AS APPROVED FROM TIME TO TIME BY THE

12. ENERGY INSTALLATION COMPLIANCE FORM CF-6R SHALL BE PROVIDED TO THE OWNERS AND TOWN PRIOR TO REQUEST FOR FINAL INSPECTION

13. AN EROSION CONTROL PLAN MUST BE SUBMITTED FOR EARTHWORK EXECUTED BTWN. 10/15 AND 4/15. A SIGNED COPY OF THE PLAN MUST BE POSTED ON SITE.

14. ITEMS SUBJECT TO INSPECTION AND PREMATURELY COVERED OR HIDDEN MUST BE EXPOSED FOR INSPECTION OR TESTED AND CERTIFIED.

15. PRIOR TO FINAL INSPECTION, ALL DISTURBED SOIL MUST BE VEGETATED OR PROTECTED BY

AN APPROVED EROSION CONTROL SYSTEM.

16. PLUMBING VENTS, CHIMNEYS, ETC. MUST BE LOCATED A MIN. OF 10' FROM OPERABLE WINDOWS.

17. HOT WATER PIPES SIZED 3/4-1" REQUIRE 1" TH. INSULATION. HOT WATER PIPES LARGER THAN 1" REQUIRE 1 1/2" INSULATION. 1/2" HOT WATER PIPE TO KITCHEN SINK MUST BE INSULATED.

18. COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2022 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF-1R, CF-2R, AND CF-3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BLDG. INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BLDG. OWNER.

19. PROJECT SITE IS LOCATED IN W.U.I. - NEW MATERIALS, SYSTEMS, AND ASSEMBLIES MUST COMPLY WITH C.B.C. CHAPTER 7A.

20. ADHESIVES, SEALANTS, CAULKS, PAINTS, STAINS, AND OTHER COATINGS, CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC FINISH MATERIALS

21. AEROSOL PAINTS AND OTHER COATINGHS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTER TOXIC COMPOUNDS

22. PARTICLEBOARD, MDF, AND HARDWOOD PLYWD. USED IN INT. FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

23. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE 1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2016 2. SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D - 2016 OR EQUIVALENT

24. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR

3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014

METHOD ACCEPTABLE TO THE ENFORCING AGENCY. 25. RECYCLE AND/OR SALVAGE FOR REUSE A MIN. OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE REPORTING STANDARDS OUTLINED BY ZERO WASTE MARIN.

26. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.

27. PRIOR TO BLDG. PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN CA FIRE CODE SEC. 4906

28. DESIGN PROFESSIONAL IN CHARGE FOR ARCHITECTURAL ISSUES IS DAVE JOCHUM | JOCHUM ARCHITECTS, FOR STRUCTURAL ISSUES IS PETER NISSEN | PETER NISSEN P.E., FOR CIVIL ISSUES IS GLENN DEARTH | LTD ENGINEERING INC.

SHEET INDEX

ARCHITECTURAL

A1.0 COVER SHEET A1.1 TITLE SHEET GENERAL INFO

A1.2 TITLE 24 MANDATORY MEASURES & GREEN POINT RATING

A1.4 SPECIFICATIONS

A1.5 SPECIFICATIONS A2.1 SITE DEMOLITION PLAN

SITE PLAN & IMPERVIOUS SURFACES

ENTRY FLOOR PLAN UPPER FLOOR & LOWER ROOF PLAN

UPPER ROOF PLAN

DEMO PLAN - ENTRY FLOOR

DEMO PLAN - UPPER FLOOR & LOWER ROOF DEMO UPPER ROOF PLAN

BUILDING ELEVATIONS

BUILDING ELEVATIONS

BUILDING ELEVATIONS **BUILDING ELEVATIONS**

EXTERIOR PERSPECTIVES

EXTERIOR PERSPECTIVES EXTERIOR PERSPECTIVES

BUILDING SECTIONS

BUILDING SECTIONS SCHEDULES: WINDOW DOOR SKYLIGHT

A6.2 DETAILS: WINDOW DOOR SKYLIGHT

FINISH PLAN & SCHEDULE

A8.2 FINISH PLAN & SCHEDULE

A8.4 INTERIOR ELEVATIONS

A9.1 ARCHITECT'L DETAILS

STRUCTURAL

S1 GENERAL NOTES, ABBREVIATIONS, LEGEND

FOUNDATION PLAN ROOF PLAN

TYPICAL STRUCTURAL DETAILS

SHEAR WALL & HOLD-DOWN DETAILS FRAMING DETAILS

S7 FRAMING DETAILS

S8 SIMPSON STRONGWALL DETAILS

HADED DRAWING SHEETS NOT INCLUDED THIS PRINTING

www.jochumarchitects.com 7 ANTON WAY NOVATO CA 94945 4 1 5 . 7 6 1 . 9 3 0 1

dave@jochumarchitects.com

Jochum architects

Clemons Residence **Renovations &**

ADU 9 THOMAS CT ROSS, CA

AP #073-232-36 Job #230502

Owners: **LEYLAND & KRISTIN** CLEMONS 9 THOMAS COURT ROSS CA 415.652.3808 lccjr76@icloud.com

ROSS CA 94957

MAILING:

PO BOX 346

P R I N T I N G S



Printed On: 4/9/24 © Jochum Architects 2023

TITLE SHEET

IF THE ABOVE DIMENSION DOES NOT MEASURE

EXACTLY ONE INCH, THEN THE SCALE OF THIS SHEET

HAS BEEN ALTERED FROM ITS ORIGINAL - REFER TO

GRAPHIC SCALES ONLY, NOT WRITTEN

PROJECT DESCRIPTION

THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

NOTE: DISCRETIONARY ITEMS SUBJECT TO DESIGN REVIEW SHOWN BOLD OTHER ITEMS ARE NON-DISCRETIONARY - SEE BLDG. ELEVATIONS FOR SPECIFIC INFO NON-DISCRETIONARY ITEMS WILL BE REVIEWED UNDER SEPARATE PLANNING

1. CREATION OF AN 800 SF ATTACHED ADU ABOVE GARAGE & FAMILY RM.

2. CONVERSION OF AN UPPER FLOOR BATHROOM TO A NEW LAUNDRY ROOM 3. SQUARE FOOTAGE SWAP OF 94 SF FROM GROUND FLOOR GARAGE STORAGE (95 SF) TO FORM AN UPPER FLOOR EXPANSION FOR THE NEW LAUNDRY ROOM (58 SF) AND BAY

WINDOWS AT BOTH FLOORS (4 x 9 SF = 36 SF) 4. CONVERSION OF AN UPPER FLOOR BEDROOM TO A NEW BATHROOM NEW UPPER FLOOR TERRACE

6. REPLACEMENT OF SEVERAL SINGLE PANE WINDOWS

7. REPLACEMENT OF EXTERIOR SIDING - CONVERT FROM BOARD LAP SIDING TO CEDAR SHINGLE w/WOOD TRIM DETAILS

8. REPLACEMENT OF ROOFING - CONVERSION FROM COMPOSITION TO LIGHTWEIGHT SLATE

Jochum ARCHITECTS www.jochumarchitects.com

7 ANTON WAY NOVATO CA 94945
4 1 5 . 7 6 1 . 9 3 0 1 dave@jochumarchitects.com

Clemons Residence Renovations & ADU

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Job #230502

Owners:
LEYLAND & KRISTIN

CLEMONS
9 THOMAS COURT
ROSS CA
415.652.3808
lccjr76@icloud.com
MAILING:
PO BOX 346
ROSS CA 94957

P R I N T I N G S

. . Design Review

PT FOR CONSTRUCTION

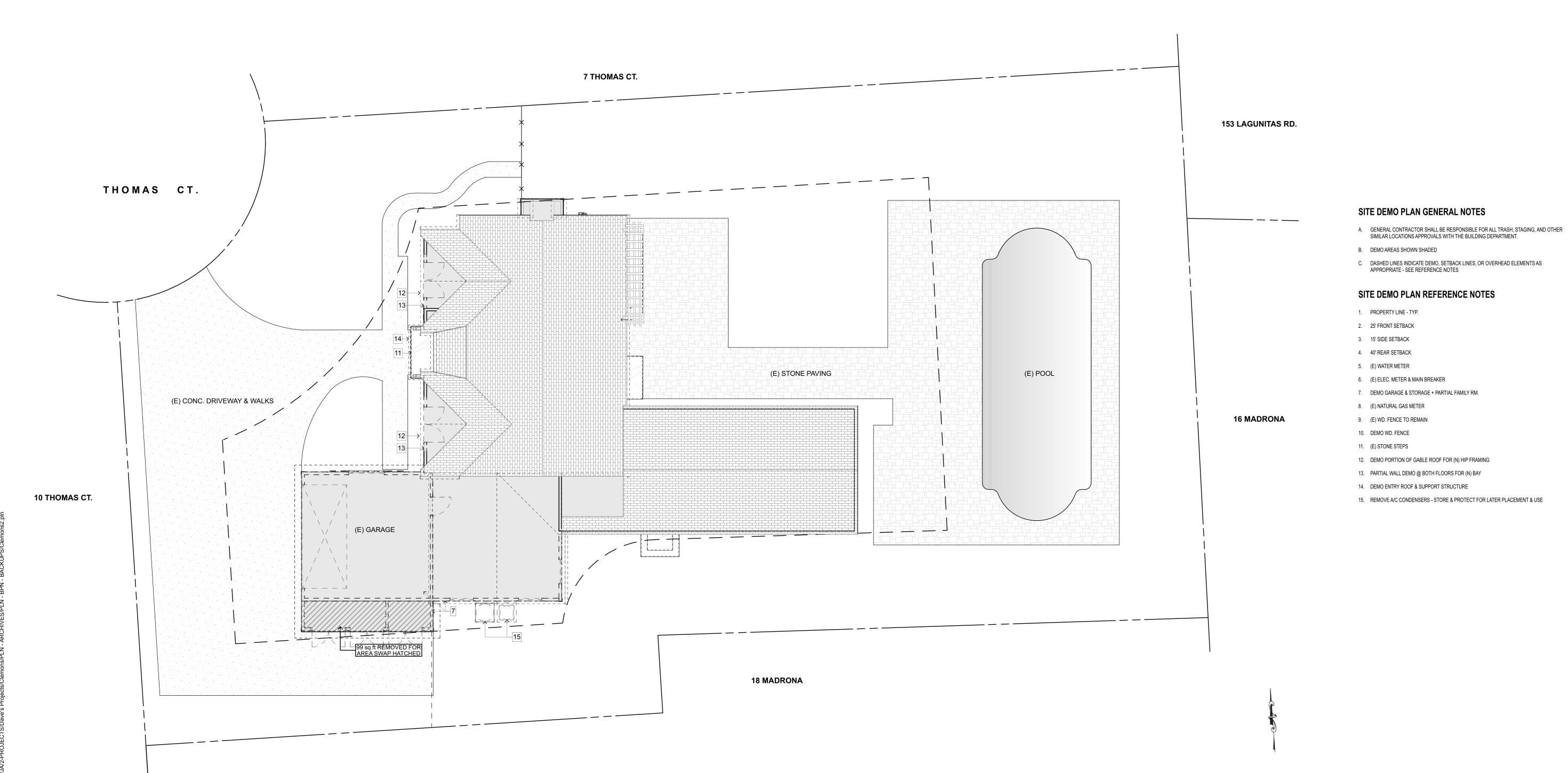
Printed On: 4/9/24 \circ Jochum ARCHITECTS 2023

SITE DEMOLITION PLAN

IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY ONE INCH, THEN THE SCALE OF THIS SHEET HAS BEEN ALTERED FROM ITS ORIGINAL - REFER TO GRAPHIC SCALES ONLY, NOT WRITTEN

DEMO SITE PLAN

SCALE: 1/8" = 1'-0"



A2.1



Clemons Residence **Renovations & ADU**

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Owners: LEYLAND & KRISTIN CLEMONS 9 THOMAS COURT ROSS CA 415.652.3808 lccjr76@icloud.com MAILING:

PO BOX 346 ROSS CA 94957

P R I N T I N G S

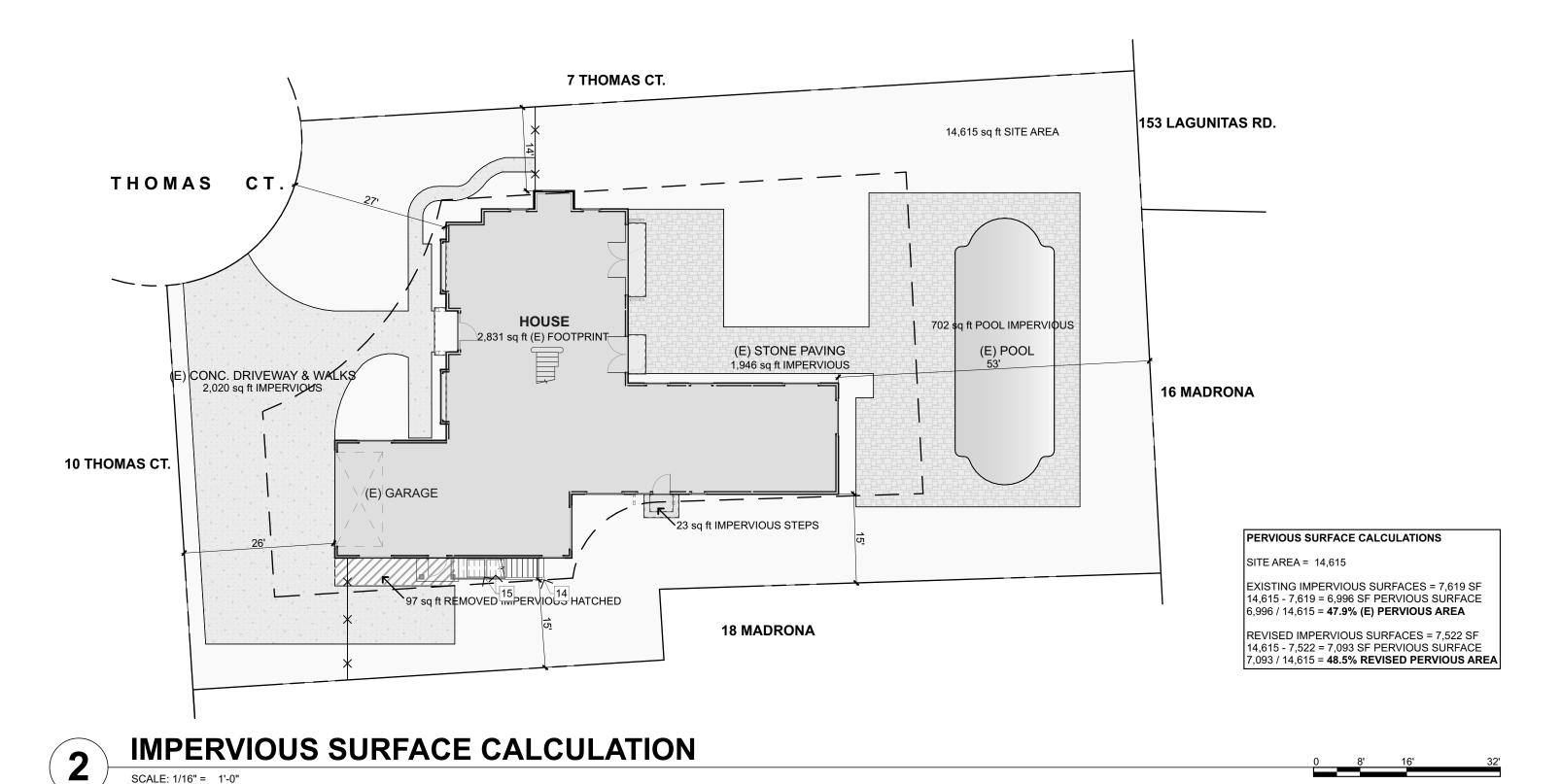
. . Design Review

Printed On: 4/9/24 © Jochum architects 2023

SITE PLAN & **IMPERVIOUS SURFACES**

─1" ACTUAL ──►

IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY ONE INCH, THEN THE SCALE OF THIS SHEET HAS BEEN ALTERED FROM ITS ORIGINAL - REFER TO GRAPHIC SCALES ONLY, NOT WRITTEN



SITE PLAN

SCALE: 1/8" = 1'-0"

7 THOMAS CT. 153 LAGUNITAS RD. THOMAS CT. (E) STONE PAVING (E) POOL (E) CONC. DRIVEWAY & WALKS **16 MADRONA** 10 THOMAS CT. **18 MADRONA**

SITE PLAN GENERAL NOTES

A. ALL ITEMS IDENTIFIED BELOW ARE NEW CONSTRUCTION UNLESS LABELED "(E)". B. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRASH, STAGING, AND OTHER

SIMILAR LOCATIONS APPROVALS WITH THE BUILDING DEPARTMENT.

C. PARKING SPACES #1 & #2 ARE IN GARAGE AND SHOWN ON SHT. A3.1 ENTRY FLOOR PLAN

D. (N) ROOF SHOWN SHADED

SITE PLAN REFERENCE NOTES

25' FRONT SETBACK

3. 15' SIDE SETBACK

4. 40' REAR SETBACK

5. (E) WATER METER

6. (E) ELEC. METER & MAIN BREAKER

7. (N) ADU ELECTRIC METER & MAIN BREAKER

8. (E) NATURAL GAS METER - VERIFY EXISTENCE OF OR INSTALL AN EXCESS FLOW TYPE AUTOMATIC GAS SHUTOFF VALVE (LMC 15.15.020)

9. (E) WD. FENCE

10. (N) WD. FENCE

11. (E) STONE STEPS

12. (N) ILLUMINATED ADDRESS NUMBERS

13. (N) HIP ROOF ABOVE BAY WINDOW 14. (N) ADU ACCESS STAIR

15. RELOCATED A/C CONDENSERS

16. WALLS BELOW SHOWN WITH HEAVY DASHED LINE

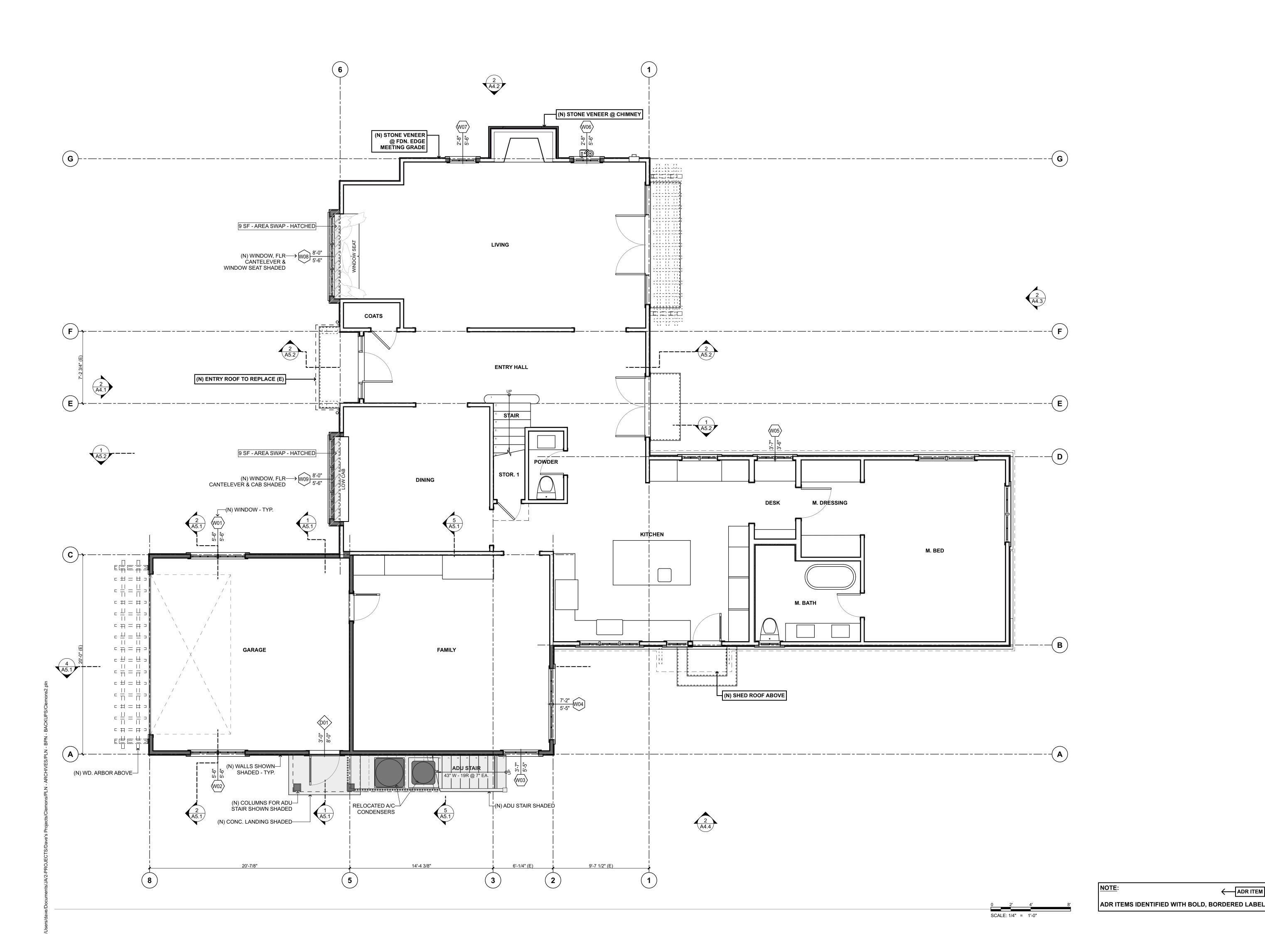
17. (N) ARBOR ABOVE GARAGE DOOR

18. (N) ARBOR ABOVE TERRACE

19. (N) GABLE ROOF @ ENTRY 20. (N) SHED ROOF @ KITCHEN ENTRY

PROJECT LOCATION

37.9598299803406, -122.5619445007039



 $oldsymbol{Jochum}$ architects www.jochumarchitects.com 7 ANTON WAY NOVATO CA 94945 4 1 5 . 7 6 1 . 9 3 0 1 dave@jochumarchitects.com

Clemons Residence **Renovations & ADU**

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Owners: LEYLAND & KRISTIN CLEMONS 9 THOMAS COURT ROSS CA 415.652.3808 lccjr76@icloud.com MAILING:

PO BOX 346

ROSS CA 94957

P R I N T I N G S

. . Design Review

04.09.24.

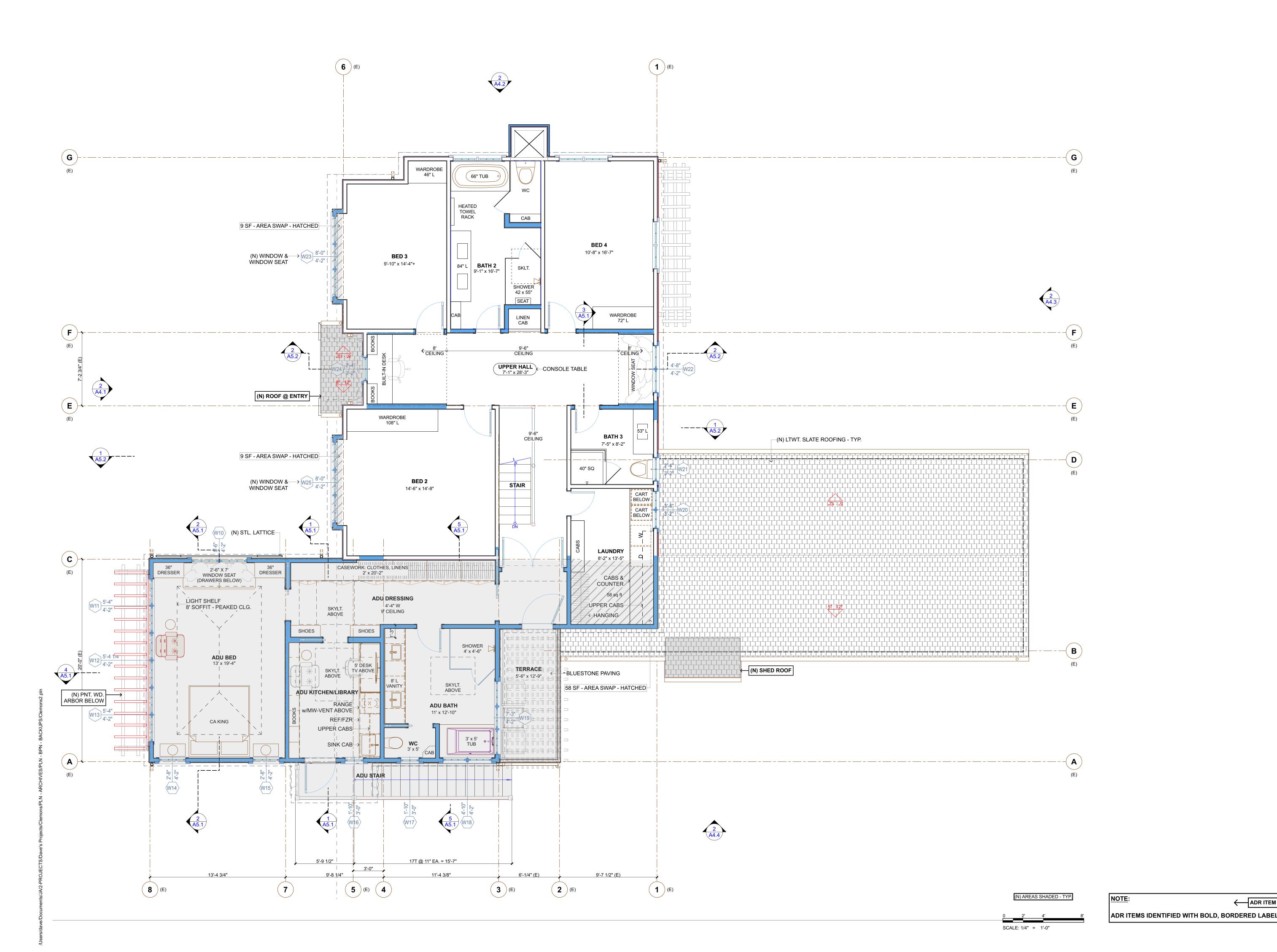


ENTRY FLOOR PLAN

© Jochum architects 2023

IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY ONE INCH, THEN THE SCALE OF THIS SHEET HAS BEEN ALTERED FROM ITS ORIGINAL - REFER TO GRAPHIC SCALES ONLY, NOT WRITTEN

← ADR ITEM



Jochum ARCHITECTS
www.jochumarchitects.com

7 ANTONWAY
NOVATO CA 94945
4 1 5 . 7 6 1 . 9 3 0 1
dave@jochumarchitects.com

Clemons Residence Renovations & ADU

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Owners:

LEYLAND & KRISTIN
CLEMONS
9 THOMAS COURT
ROSS CA
415.652.3808
lccjr76@icloud.com
MAILING:

PO BOX 346

ROSS CA 94957

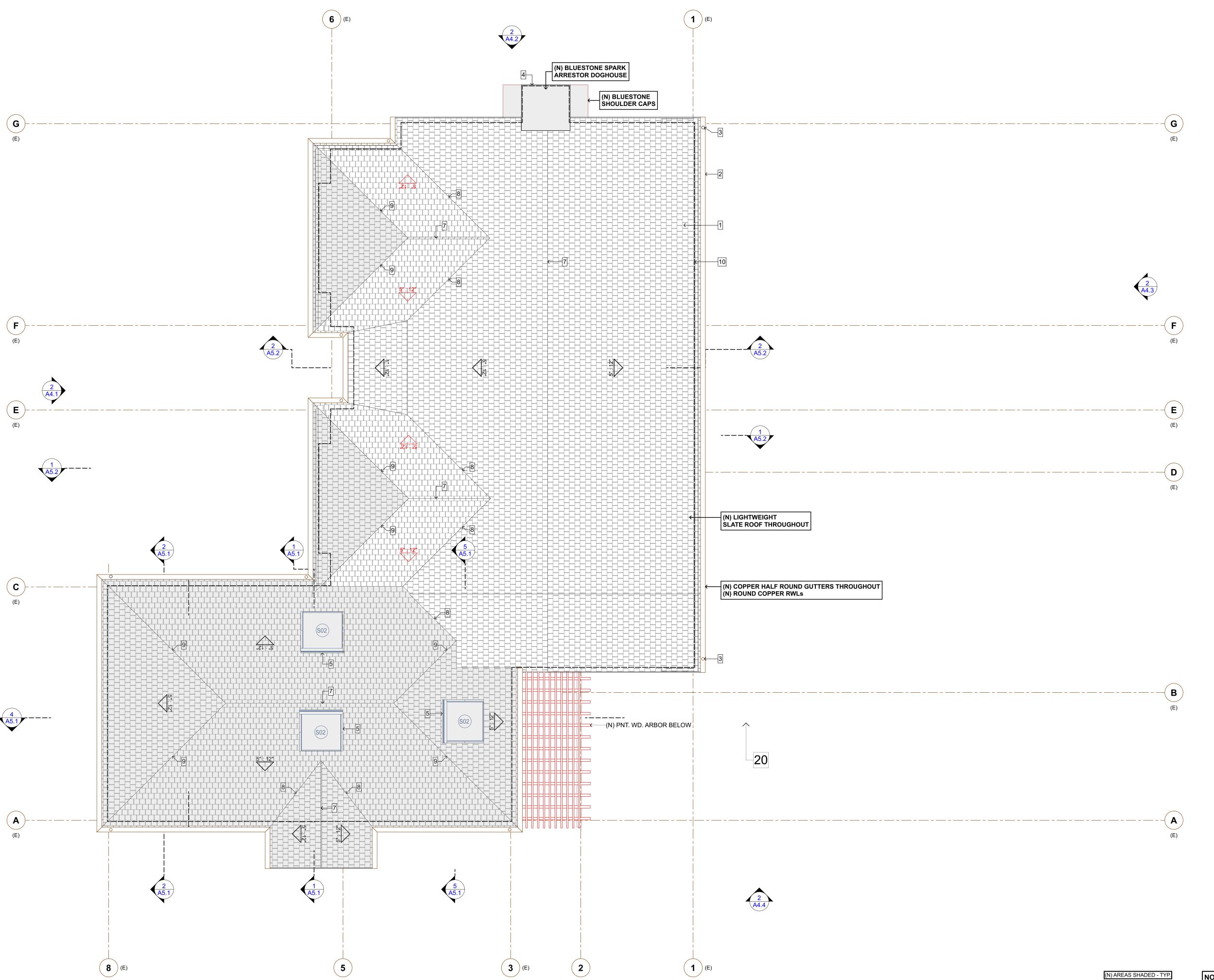
R I N T I N G S

. . Design Review

Nor For Construction

Printed On: 4/9/24 \bigcirc Jochum ARCHITECTS 2023

UPPER FLOOR & LOWER ROOF PLAN



ROOF PLAN GENERAL NOTES

- A. ALL ROOFING SHALL HAVE A CLASS "A" FIRE RATING.
- B. ADHERE TO ALL ROOFING MANUFACTURER'S INSTALLATION REQUIREMENTS AND SPECIFICATIONS INCLUDING SUBSURFACE PREPARATION, MATERIAL HANDLING, UNDERLAYMENT, ATTACHMENT, FLASHING, AND HANDLING OF ROOF PENETRATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS WITH DRAWINGS AND SPECIFICATIONS.
- C. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A WATER TIGHT ROOF.
- D. PROVIDE LEAF AND DEBRIS GUARDS ON ALL ROOF GUTTERS
- E. NO ATTIC VENTING ATTIC. ENVELOPE SHALL BE COMPLETELY ENCLOSED WITH SPRAY FOAM INSULATION. SEE BUILDING SECTIONS.
- F. ALL FLASHINGS TO BE 16 OZ. COPPER.
- G. PROVIDE CLEANOUTS IN ALL GUTTER DOWNSPOUTS JUST BEFORE ENTERING HORIZ. UNDERGROUND DRAINAGE PIPING SYSTEM PER 2016 C1101.13.1

ROOF PLAN REFERENCE NOTES

- LIGHTWEIGHT GAF "TRUSLATE" ROOFING SEE SPECIFICATIONS FOR MANUFACTURER /
 MODEL #, COLOR, UNDERLAYMENT-MIN. 15 LB. ROOFING FELT, & INSTALLATION
 REQUIREMENTS PROVIDE EDGE AND PENETRATION FLASHING PER MFR. VERIFY USE
 @ LOW PITCH AREA
- 2. 5" DIA HALF ROUND COPPER SEAMLESS GUTTER TYP.
- 3. 3" DIA. ROUND COPPER RWL SEE BLDG. ELEVATIONS S.C.D. REGARDING TERMINATION LOCATION AND DETAILS.
- 4. (N) STONE VENEER ON CHIMNEY
- 5. SELF-CURBING SKYLIGHTS SEE SKYLIGHT SCHEDULE
- 6. DASHED LINE OF EXT. WALL BELOW TYP.
- 7. RIDGE RIDGE CAP ROOFING PER MFR. SPECS.
- 8. VALLEY FORM PER MFR. SPECS
- 9. HIP HIP CAP ROOFING PER MFR. SPECS.
- 10. OUTLINE OF WALLS BELOW SHOWN BY HEAVY DASHED LINE

Jochum ARCHITECTS
www.jochumarchitects.com
7 A N T O N W A Y

7 A N I O N W A Y NOVATO CA 94945 4 1 5 . 7 6 1 . 9 3 0 1 dave@jochumarchitects.com

Clemons Residence Renovations & ADU

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Owners:

LEYLAND & KRISTIN CLEMONS 9 THOMAS COURT ROSS CA 415.652.3808 lccjr76@icloud.com

MAILING:

PO BOX 346

ROSS CA 94957

P R I N T I N G S

9.24. Design Review



UPPER ROOF PLAN

─1" ACTUAL ──►

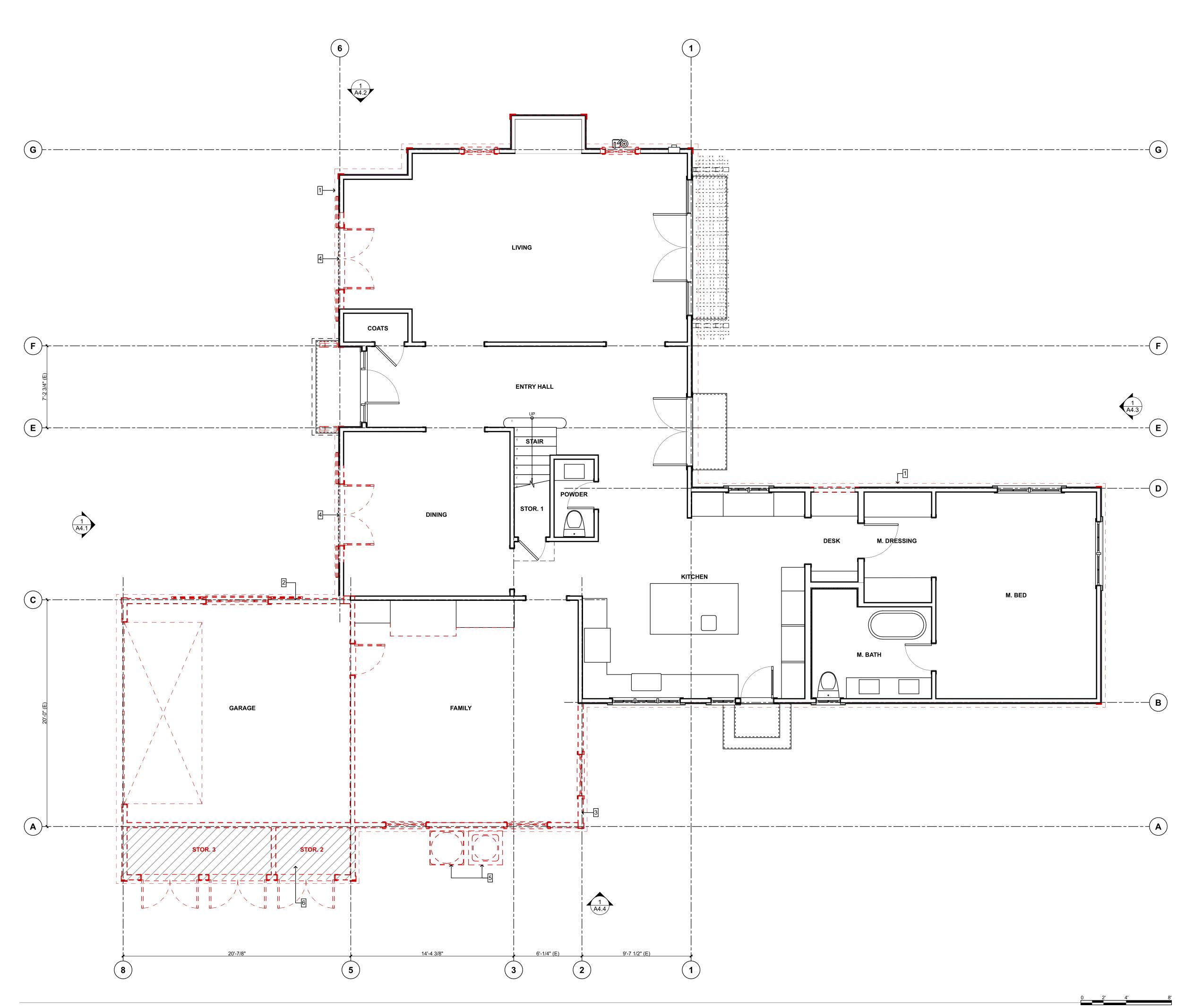
IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY ONE INCH, THEN THE SCALE OF THIS SHEET HAS BEEN ALTERED FROM ITS ORIGINAL - REFER TO GRAPHIC SCALES ONLY, NOT WRITTEN

← ADR ITEM

ADR ITEMS IDENTIFIED WITH BOLD, BORDERED LABEL

SCALE: 1/4" = 1'-0"

A3.3



DEMO FLOOR & ROOF PLAN GENERAL NOTES

A. DISPOSE OF ALL DEBRIS PER GREEN REGULATIONS

DEMO FLOOR & ROOF PLAN REFERENCE NOTES

- 1. LINE OF ROOF ABOVE SHOWN DASHED
- 2. DEMO DASHED WALLS GARAGE
- 3. DEMO DASHED WALLS FAMILY
- 4. DEMO DASHED PORTION OF WALLS, DOORS & DOORS FOR (N) BAY WINDOWS
- 5. REMOVE A/C CONDENSERS PROTECT & STORE FOR RELOCATION DEMO PADS
- 6. DEMO STORAGE RMS. SHOWN HATCHED 95 SF REMOVED TO ALLOW FOR LAUNDRY RM. ADDITION & 4 BAY WINDOWS (94 SF TOTAL)
- 7. DEMO WALLS, DOORS, & BATH FIXTURES SHOWN DASHED
- 8. DEMO WINDOWS SHOWN DASHED
- 9. DEMO ENTRY ROOF STRUCTURE
- 10. DEMO ROOF STRUCTURES SHOWN DASHED OVER GARAGE & FAMILY RM.
- 11. DEMO ALL GUTTERS & RWLS

SCALE: 1/4" = 1'-0"

- 12. DEMO ALL COMP. SHINGLE ROOFING & UNDERLAYMENT
- 13. DEMO GABLE PORTION OF ROOF FOR CONVERSION TO HIP STRUCTURE S.S.D.

Jochum ARCHITECTS
www.jochumarchitects.com
7 ANTONWAY

7 A N T O N W A Y NOVATO CA 94945 4 1 5 . 7 6 1 . 9 3 0 1 dave@jochumarchitects.com

Clemons Residence Renovations & ADU

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Owners:

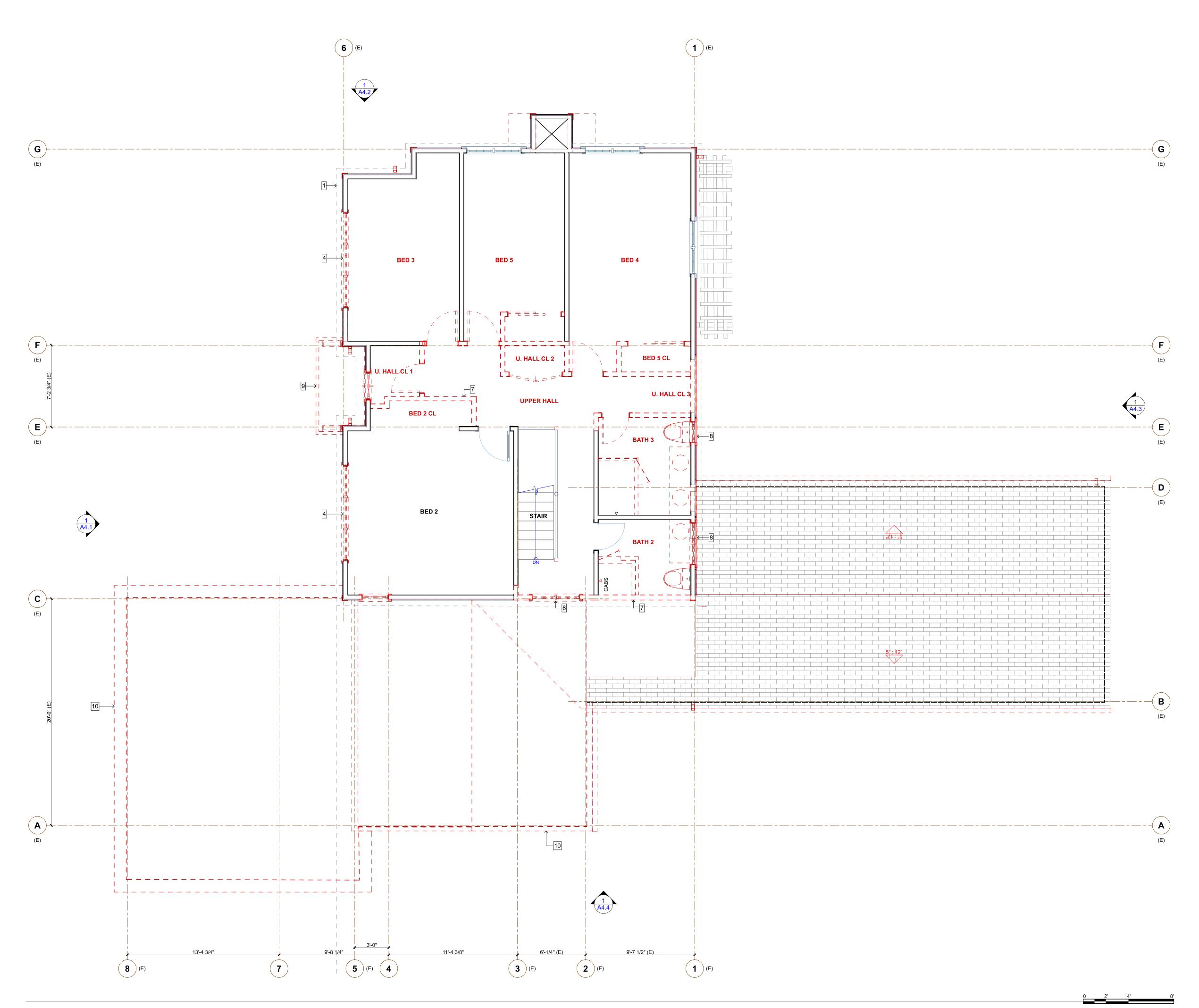
LEYLAND & KRISTIN
CLEMONS
9 THOMAS COURT
ROSS CA
415.652.3808
lccjr76@icloud.com
MAILING:
PO BOX 346

P R I N T I N G S

. . Design Review



DEMO PLAN -ENTRY FLOOR



DEMO FLOOR & ROOF PLAN GENERAL NOTES

A. DISPOSE OF ALL DEBRIS PER GREEN REGULATIONS

DEMO FLOOR & ROOF PLAN REFERENCE NOTES

- LINE OF ROOF ABOVE SHOWN DASHED
- 2. DEMO DASHED WALLS GARAGE
- 3. DEMO DASHED WALLS FAMILY
- 4. DEMO DASHED PORTION OF WALLS, DOORS & DOORS FOR (N) BAY WINDOWS
- 5. REMOVE A/C CONDENSERS PROTECT & STORE FOR RELOCATION DEMO PADS
- 6. DEMO STORAGE RMS. SHOWN HATCHED 95 SF REMOVED TO ALLOW FOR LAUNDRY RM. ADDITION & 4 BAY WINDOWS (94 SF TOTAL)
- 7. DEMO WALLS, DOORS, & BATH FIXTURES SHOWN DASHED
- 8. DEMO WINDOWS SHOWN DASHED
- 9. DEMO ENTRY ROOF STRUCTURE
- 10. DEMO ROOF STRUCTURES SHOWN DASHED OVER GARAGE & FAMILY RM.
- 11. DEMO ALL GUTTERS & RWLS
- 12. DEMO ALL COMP. SHINGLE ROOFING & UNDERLAYMENT
- 13. DEMO GABLE PORTION OF ROOF FOR CONVERSION TO HIP STRUCTURE S.S.D.

Jochum ARCHITECTS
www.jochumarchitects.com
7 ANTON WAY

7 A N T O N W A Y NOVATO CA 949454 15.761.9301 dave@jochumarchitects.com

Clemons Residence Renovations & ADU

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Owners:
LEYLAND & KRISTIN
CLEMONS

9 THOMAS COURT ROSS CA 415.652.3808 lccjr76@icloud.com MAILING: PO BOX 346 ROSS CA 94957

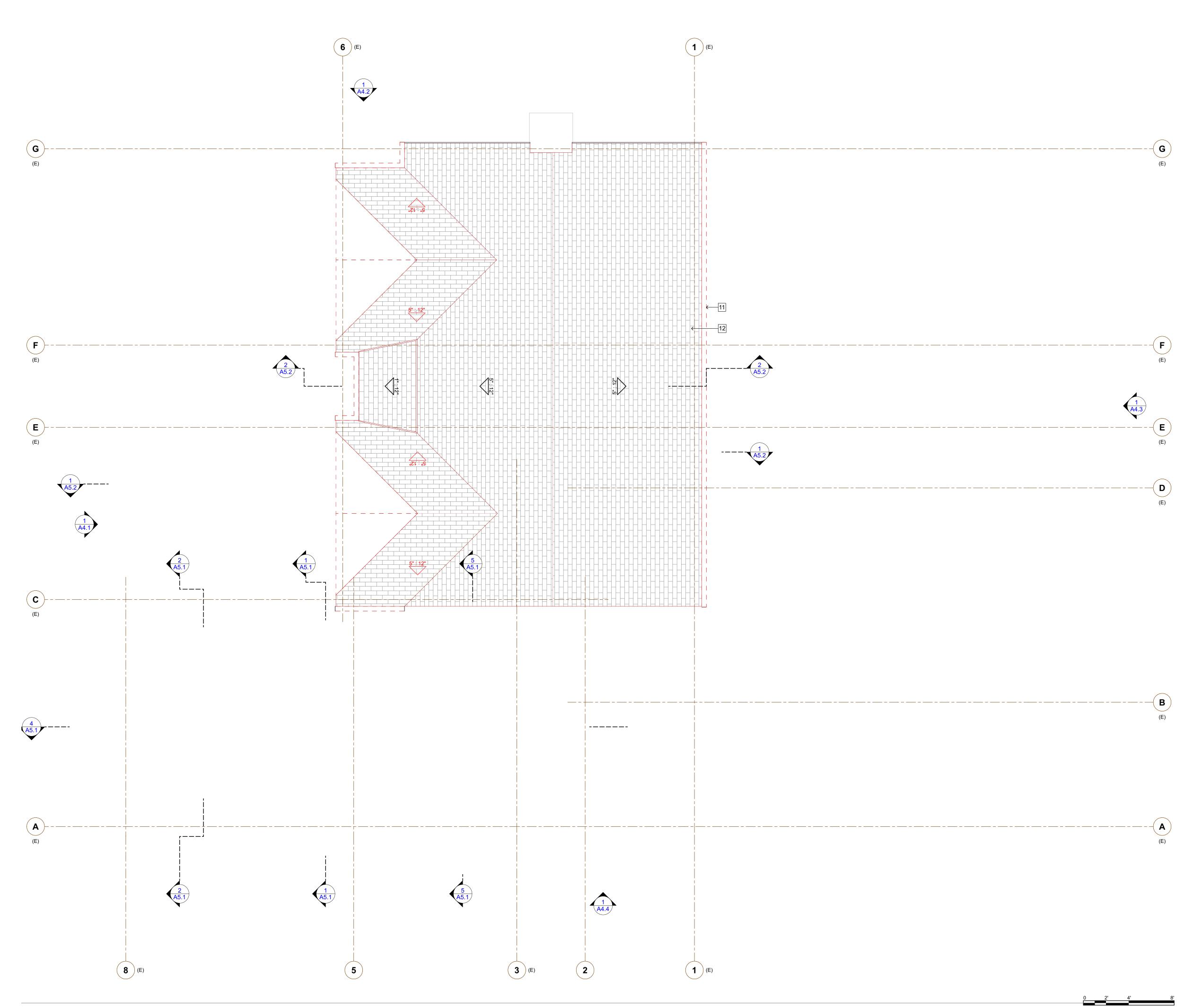
R I N T I N G S

04.09.24. Design Review



DEMO PLAN -UPPER FLOOR & LOWER ROOF

─1" ACTUAL ──►



DEMO FLOOR & ROOF PLAN GENERAL NOTES

A. DISPOSE OF ALL DEBRIS PER GREEN REGULATIONS

DEMO FLOOR & ROOF PLAN REFERENCE NOTES

- LINE OF ROOF ABOVE SHOWN DASHED
- 2. DEMO DASHED WALLS GARAGE
- 3. DEMO DASHED WALLS FAMILY
- 4. DEMO DASHED PORTION OF WALLS, DOORS & DOORS FOR (N) BAY WINDOWS
- 5. REMOVE A/C CONDENSERS PROTECT & STORE FOR RELOCATION DEMO PADS
- 6. DEMO STORAGE RMS. SHOWN HATCHED 95 SF REMOVED TO ALLOW FOR LAUNDRY RM. ADDITION & 4 BAY WINDOWS (94 SF TOTAL)
- 7. DEMO WALLS, DOORS, & BATH FIXTURES SHOWN DASHED
- 8. DEMO WINDOWS SHOWN DASHED
- 9. DEMO ENTRY ROOF STRUCTURE
- 10. DEMO ROOF STRUCTURES SHOWN DASHED OVER GARAGE & FAMILY RM.
- 11. DEMO ALL GUTTERS & RWLS

SCALE: 1/4" = 1'-0"

- 12. DEMO ALL COMP. SHINGLE ROOFING & UNDERLAYMENT
- 13. DEMO GABLE PORTION OF ROOF FOR CONVERSION TO HIP STRUCTURE S.S.D.

Jochum ARCHITECTS www.jochumarchitects.com

7 A N T O N W A Y NOVATO C A 94945 4 1 5 . 7 6 1 . 9 3 0 1 dave@jochumarchitects.com

Clemons Residence Renovations & ADU

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Owners:
LEYLAND & KRISTIN
CLEMONS
9 THOMAS COURT

ROSS CA
415.652.3808
lccjr76@icloud.com
MAILING:
PO BOX 346
ROSS CA 94957

PRINTINGS

. . Design Review



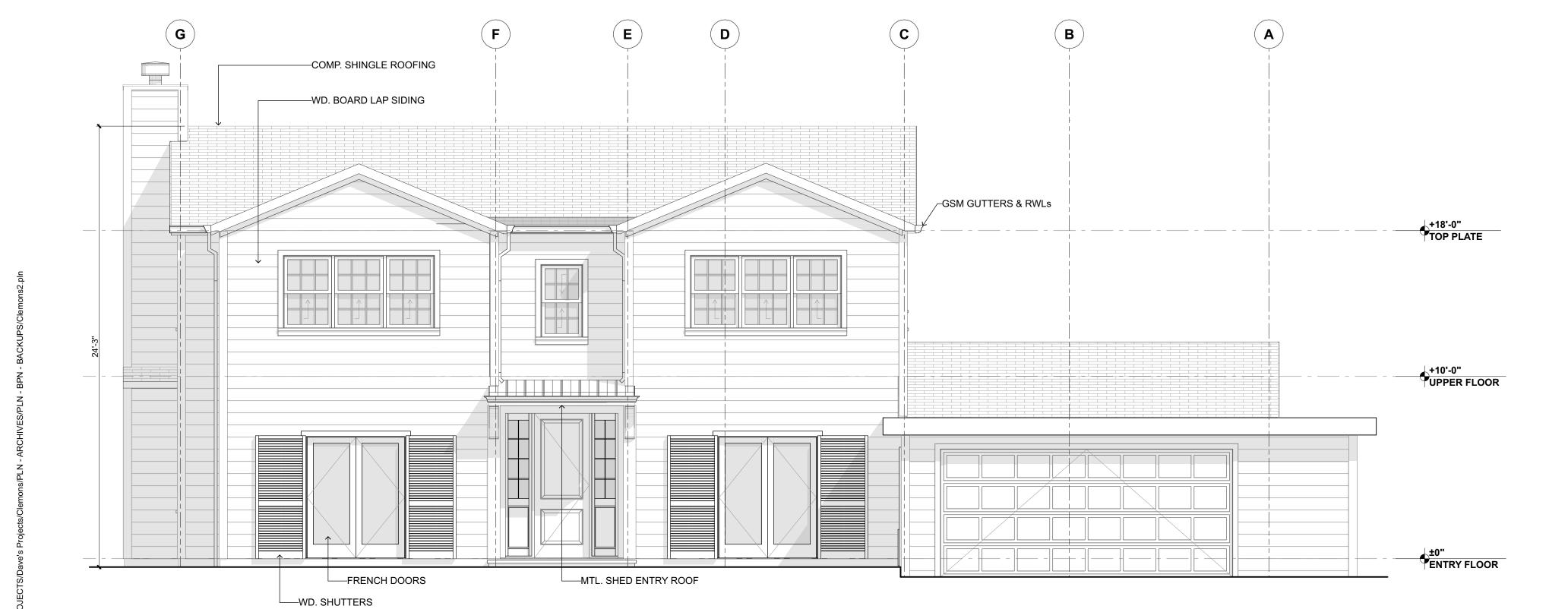
DEMO UPPER ROOF PLAN

(N) COPPER RWLs-



(N) STONE VENEER ON (E) CHIMNEY

(N) STONE VENEER ON (E) FDN. @ GRADE



(E) WEST ELEVATION



NOTE:

THE ONLY ELEMENTS OF THIS PROJECT THAT ARE DISCRETIONARY AND THEREFOR SUBJECT TO DESIGN REVIEW ARE THE FOLLOWING:

- . CHANGE OF SIDING FROM PAINTED WOOD BOARDS TO STAINED CEDAR SHINGLES WITH PAINTED WOOD TRIM
- 2. CHANGE OF CHIMNEY SIDING & EXPOSED FOUNDATION EDGE FROM PAINTED WOOD BOARDS & CONCRETE TO STONE VENEER MATCHING CURRENT SITE WALLS
- . CHANGE OF ROOFING MATERIAL FROM COMPOSITION SHINGLES TO LIGHTWEIGHT SLATE SHINGLES
- 4. CHANGE OF GUTTERS & RWL FROM GSM TO COPPER
- 5. CHANGE OF WINDOW SHAPE ABOVE ENTRY
- (RECTANGLE TO OVAL) 6. ONE WINDOW MOVED AT THE EAST (REAR) ELEVATION
- . ELIMINATION OF TWO WINDOWS AT THE SOUTH (SIDE) ELEVATION 2. ADDITION OF ONE DOOR AT THE SOUTH (SIDE) ELEVATION
- 9. CHANGE OF DOORS TO WINDOWS AT WEST (FRONT) ELEVATION
- 10. CHANGE OF TWO GABLE ROOFS TO HIP FORMS
- 11. CHANGE OF ENTRY ROOF COVERING FROM SHED FORM TO GABLE 12. ADDITION OF A PAINTED WOOD ARBOR ABOVE THE GARAGE DOOR
- 13. CHANGE OF GARAGE DOOR DESIGN

Jochum ARCHITECTS www.jochumarchitects.com 7 ANTON WAY NOVATO CA 94945 4 1 5 . 7 6 1 . 9 3 0 1 dave@jochumarchitects.com

Clemons Residence **Renovations & ADU**

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Owners: LEYLAND & KRISTIN **CLEMONS** 9 THOMAS COURT ROSS CA 415.652.3808

lccjr76@icloud.com MAILING: PO BOX 346

ROSS CA 94957

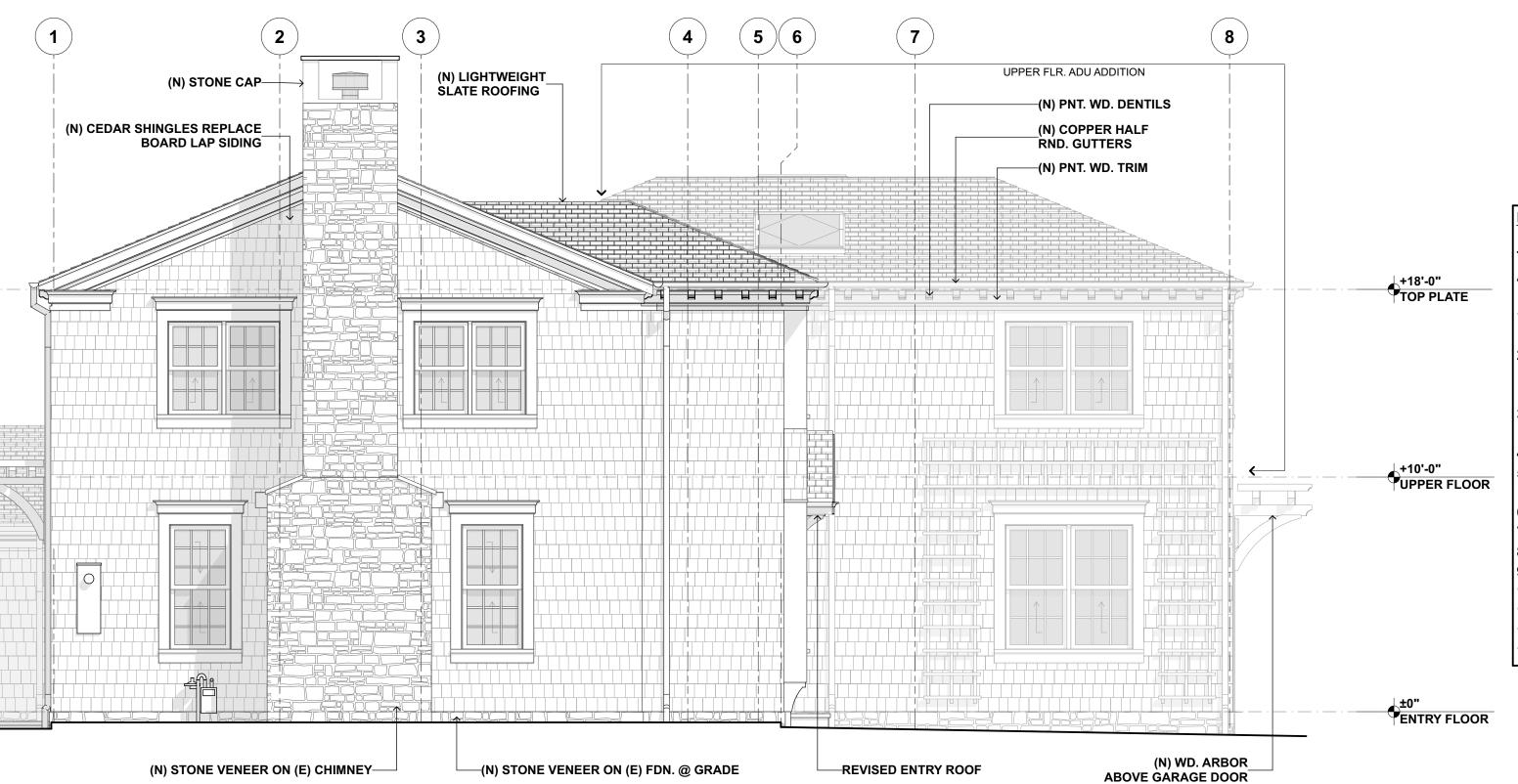
P R I N T I N G S . Design Review



Printed On: 4/9/24 © Jochum Architects 2023

BUILDING ELEVATIONS

ELEV. KEY PLAN - UPPER FLOOR



NOTE

THE ONLY ELEMENTS OF THIS PROJECT THAT ARE DISCRETIONARY AND THEREFOR SUBJECT TO DESIGN REVIEW ARE THE FOLLOWING:

- CHANGE OF SIDING FROM PAINTED WOOD BOARDS TO STAINED CEDAR SHINGLES WITH PAINTED WOOD TRIM
- 2. CHANGE OF CHIMNEY SIDING & EXPOSED FOUNDATION EDGE FROM PAINTED WOOD BOARDS & CONCRETE TO STONE VENEER MATCHING CURRENT SITE WALLS
- 3. CHANGE OF ROOFING MATERIAL FROM COMPOSITION SHINGLES TO LIGHTWEIGHT SLATE SHINGLES
- . CHANGE OF GUTTERS & RWL FROM GSM TO COPPER . CHANGE OF WINDOW SHAPE ABOVE ENTRY
- (RECTANGLE TO OVAL)

 ONE WINDOW MOVED AT THE EAST (REAR) ELEVATION
- 7. ELIMINATION OF TWO WINDOWS AT THE SOUTH (SIDE) ELEVATION 8. ADDITION OF ONE DOOR AT THE SOUTH (SIDE) ELEVATION
- 9. CHANGE OF DOORS TO WINDOWS AT WEST (FRONT) ELEVATION
- 10. CHANGE OF TWO GABLE ROOFS TO HIP FORMS
 11. CHANGE OF ENTRY ROOF COVERING FROM SHED FORM TO GABLE
- 12. ADDITION OF A PAINTED WOOD ARBOR ABOVE THE GARAGE DOOR
 13. CHANGE OF GARAGE DOOR DESIGN

Clemons Residence Renovations & ADU

Jochum architects

www.jochumarchitects.com

7 ANTON WAY

NOVATO CA 94945

4 1 5 . 7 6 1 . 9 3 0 1

dave@jochumarchitects.com

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Owners:

LEYLAND & KRISTIN
CLEMONS
9 THOMAS COURT
ROSS CA
415.652.3808
lccjr76@icloud.com
MAILING:
PO BOX 346

ROSS CA 94957

P R I N T I N G S

. . Design Review

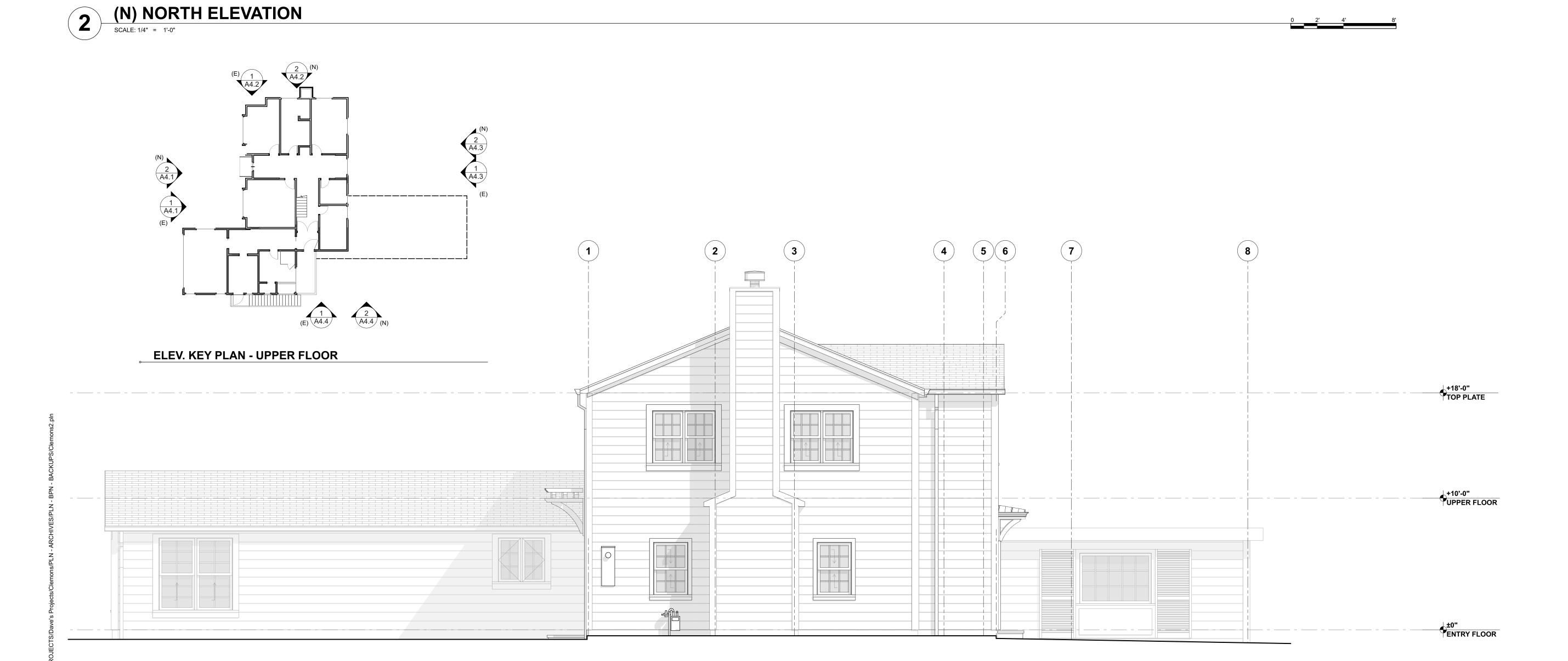
Norman Construction

BUILDING ELEVATIONS

IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY ONE INCH, THEN THE SCALE OF THIS SHEET HAS BEEN ALTERED FROM ITS ORIGINAL - REFER TO

1 1 2

GRAPHIC SCALES ONLY, NOT WRITTEN

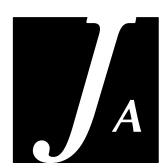


(E) NORTH ELEVATION









NOTE:

THE ONLY ELEMENTS OF THIS PROJECT THAT ARE DISCRETIONARY AND THEREFOR SUBJECT TO DESIGN REVIEW ARE THE FOLLOWING:

- 1. CHANGE OF SIDING FROM PAINTED WOOD BOARDS TO STAINED CEDAR SHINGLES WITH PAINTED WOOD TRIM
- 2. CHANGE OF CHIMNEY SIDING & EXPOSED FOUNDATION EDGE FROM PAINTED WOOD BOARDS & CONCRETE TO STONE VENEER MATCHING CURRENT SITE WALLS
- B. CHANGE OF ROOFING MATERIAL FROM COMPOSITION SHINGLES
- TO LIGHTWEIGHT SLATE SHINGLES
- 4. CHANGE OF GUTTERS & RWL FROM GSM TO COPPER
 5. CHANGE OF WINDOW SHAPE ABOVE ENTRY
- (RECTANGLE TO OVAL)
 6. ONE WINDOW MOVED AT THE EAST (REAR) ELEVATION
- 7. ELIMINATION OF TWO WINDOWS AT THE SOUTH (SIDE) ELEVATION
- 8. ADDITION OF ONE DOOR AT THE SOUTH (SIDE) ELEVATION9. CHANGE OF DOORS TO WINDOWS AT WEST (FRONT) ELEVATION
- 10. CHANGE OF TWO GABLE ROOFS TO HIP FORMS
- 11. CHANGE OF TWO GABLE ROOFS TO HIP FORMS

 11. CHANGE OF ENTRY ROOF COVERING FROM SHED FORM TO GABLE
- 12. ADDITION OF A PAINTED WOOD ARBOR ABOVE THE GARAGE DOOR 13. CHANGE OF GARAGE DOOR DESIGN

Jochum ARCHITECTS
www.jochumarchitects.com

7 A N T O N W A Y N O V A T O C A 9 4 9 4 5 4 1 5 . 7 6 1 . 9 3 0 1 dave@jochumarchitects.com

Clemons Residence Renovations & ADU

9 THOMAS CT. ROSS, CA AP #073-232-36

Job #230502 *Owners:*

LEYLAND & KRISTIN CLEMONS 9 THOMAS COURT ROSS CA 415.652.3808 lccjr76@icloud.com MAILING: PO BOX 346 ROSS CA 94957

P R I N T I N G S

04.09.24. Design Review

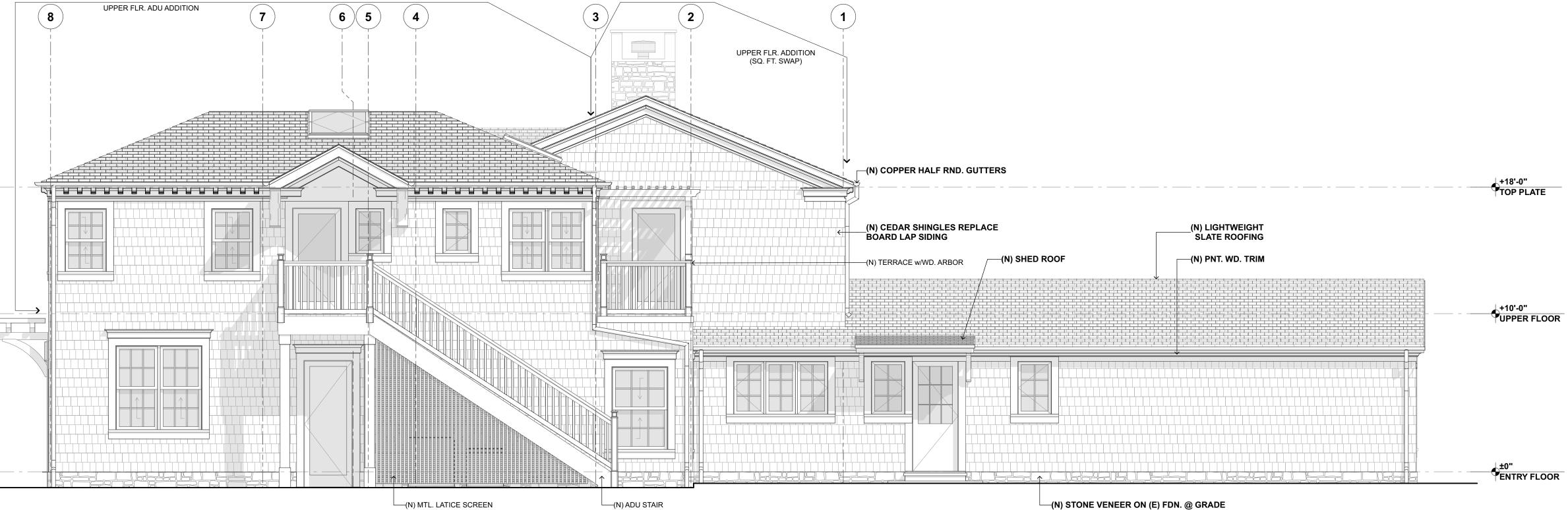


BUILDING ELEVATIONS

IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY ONE INCH, THEN THE SCALE OF THIS SHEET HAS BEEN ALTERED FROM ITS ORIGINAL - REFER TO

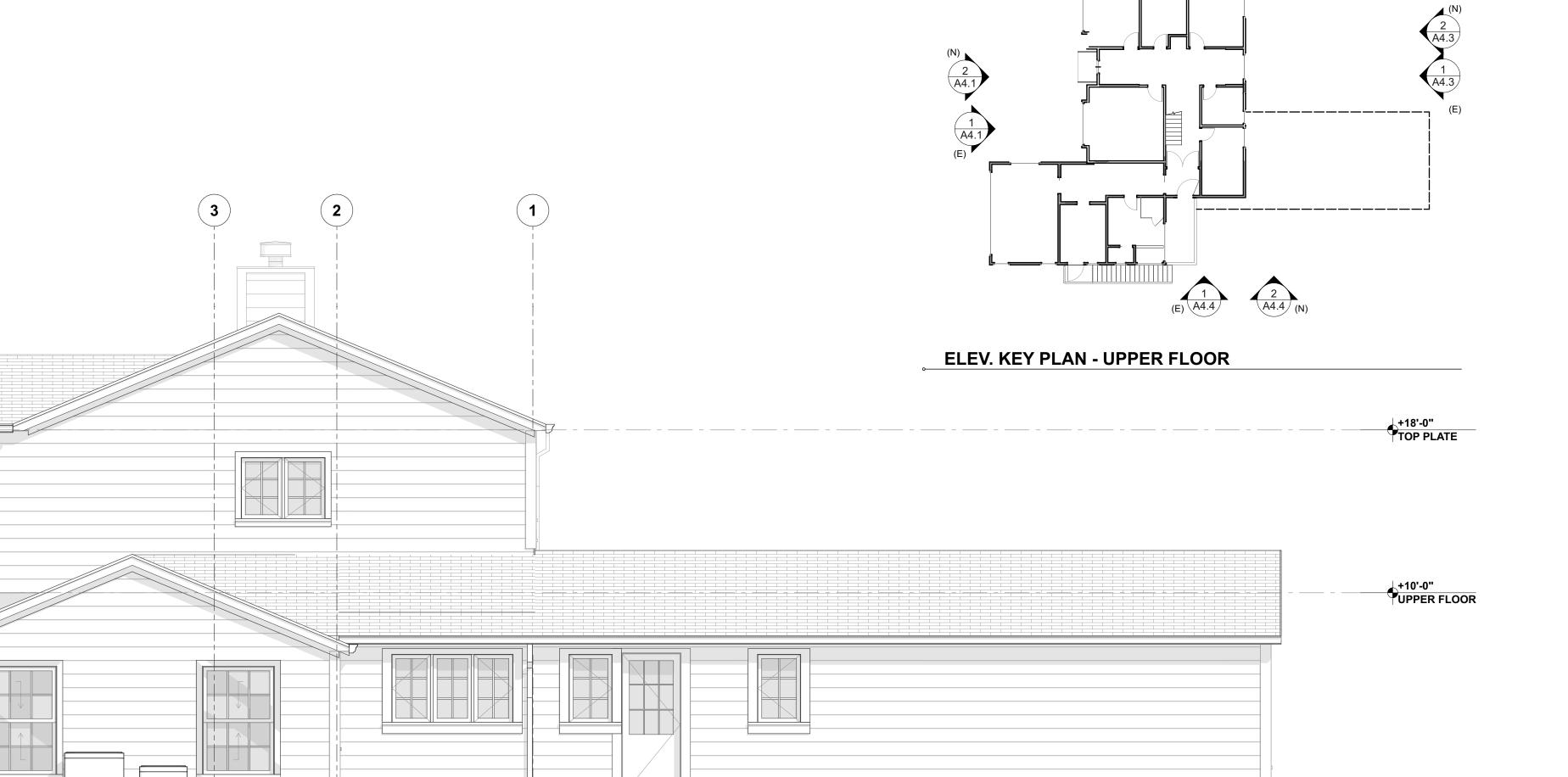
ELEV. KEY PLAN - UPPER FLOOR

GRAPHIC SCALES ONLY, NOT WRITTEN



(N) SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



THE ONLY ELEMENTS OF THIS PROJECT THAT ARE DISCRETIONARY AND THEREFOR SUBJECT TO DESIGN REVIEW ARE THE FOLLOWING:

- CHANGE OF SIDING FROM PAINTED WOOD BOARDS TO STAINED
- . CHANGE OF CHIMNEY SIDING & EXPOSED FOUNDATION EDGE FROM PAINTED WOOD BOARDS & CONCRETE TO STONE VENEER MATCHING CURRENT SITE WALLS
- CHANGE OF ROOFING MATERIAL FROM COMPOSITION SHINGLES TO LIGHTWEIGHT SLATE SHINGLES
- . CHANGE OF GUTTERS & RWL FROM GSM TO COPPER . CHANGE OF WINDOW SHAPE ABOVE ENTRY

CEDAR SHINGLES WITH PAINTED WOOD TRIM

- (RECTANGLE TO OVAL)
- ONE WINDOW MOVED AT THE EAST (REAR) ELEVATION . ELIMINATION OF TWO WINDOWS AT THE SOUTH (SIDE) ELEVATION
- ADDITION OF ONE DOOR AT THE SOUTH (SIDE) ELEVATION
- . CHANGE OF DOORS TO WINDOWS AT WEST (FRONT) ELEVATION
- 10. CHANGE OF TWO GABLE ROOFS TO HIP FORMS 11. CHANGE OF ENTRY ROOF COVERING FROM SHED FORM TO GABLE
- 12. ADDITION OF A PAINTED WOOD ARBOR ABOVE THE GARAGE DOOR 13. CHANGE OF GARAGE DOOR DESIGN

Jochum architects

www.jochumarchitects.com

7 ANTON WAY NOVATO CA 94945 4 1 5 . 7 6 1 . 9 3 0 1 dave@jochumarchitects.com

Clemons Residence **Renovations & ADU**

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Owners: **LEYLAND & KRISTIN**

CLEMONS 9 THOMAS COURT ROSS CA 415.652.3808 lccjr76@icloud.com MAILING: PO BOX 346 **ROSS CA 94957**

P R I N T I N G S

. . Design Review



Printed On: 4/9/24 © Jochum architects 2023

BUILDING ELEVATIONS



Jochum ARCHITECTS
www.jochumarchitects.com
7 ANTON WAY
NOVATO CA 94945
4 15.761.9301
dave@jochumarchitects.com

Clemons
Residence
Renovations &
ADU

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Owners:
LEYLAND & KRISTIN
CLEMONS
9 THOMAS COURT
ROSS CA
415.652.3808
lccjr76@icloud.com
MAILING:
PO BOX 346
ROSS CA 94957





EXTERIOR PERSPECTIVES

IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY ONE INCH, THEN THE SCALE OF THIS SHEET HAS BEEN ALTERED FROM ITS ORIGINAL - REFER TO GRAPHIC SCALES ONLY, NOT WRITTEN

1 1 5



2 ENTRY PERSPECTIVE







EXTERIOR PERSPECTIVE



Jochum ARCHITECTS www.jochumarchitects.com 7 A N T O N W A Y NOVATO CA 94945 4 1 5 . 7 6 1 . 9 3 0 1

dave@jochumarchitects.com

Clemons Residence **Renovations & ADU**

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Owners: LEYLAND & KRISTIN
CLEMONS
9 THOMAS COURT
ROSS CA
415.652.3808
lccjr76@icloud.com
MAILING:
PO BOX 346
ROSS CA 94957

P R I N T I N G S



Printed On: 4/9/24 © Jochum architects 2023

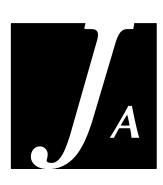
EXTERIOR PERSPECTIVES



REAR EXTERIOR PERSPECTIVE



(E) REAR EXTERIOR PERSPECTIVE



Jochum ARCHITECTS www.jochumarchitects.com

7 ANTON WAY NOVATO CA 94945
4 1 5 . 7 6 1 . 9 3 0 1 dave@jochumarchitects.com

Clemons Residence Renovations & ADU

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Owners:

LEYLAND & KRISTIN
CLEMONS
9 THOMAS COURT
ROSS CA
415.652.3808
lccjr76@icloud.com
MAILING:
PO BOX 346
ROSS CA 94957

P R I N T I N G S

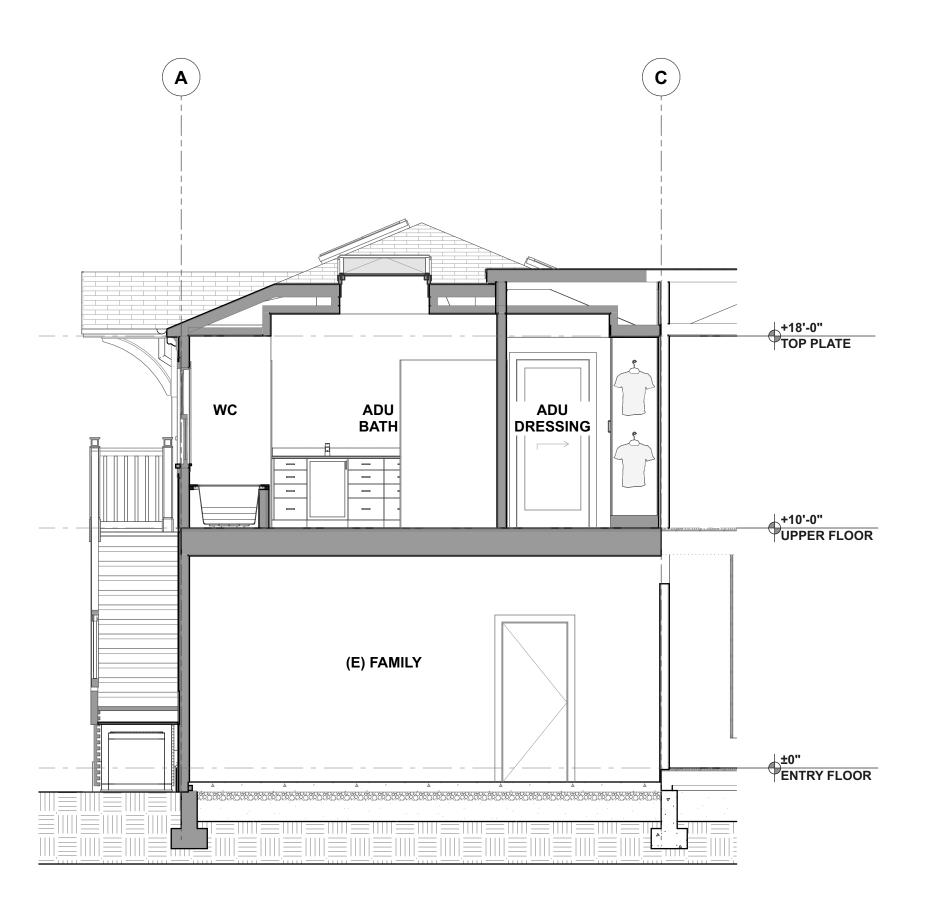


© Jochum Architects 2023

EXTERIOR PERSPECTIVES

IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY ONE INCH, THEN THE SCALE OF THIS SHEET HAS BEEN ALTERED FROM ITS ORIGINAL - REFER TO GRAPHIC SCALES ONLY, NOT WRITTEN

THE SOLES ONE, NOT WATTEN



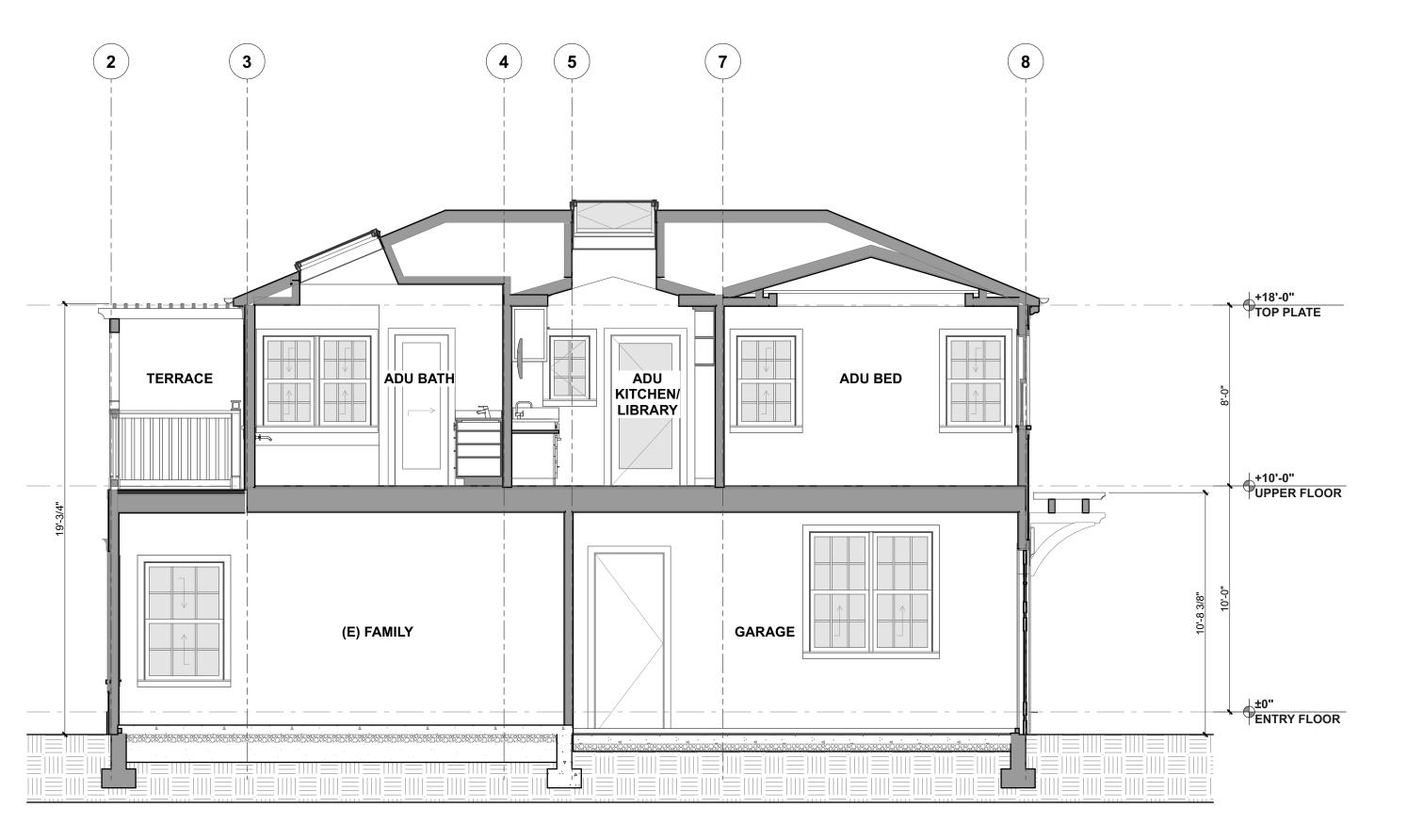
SECTION LOOKING WEST @ BATH

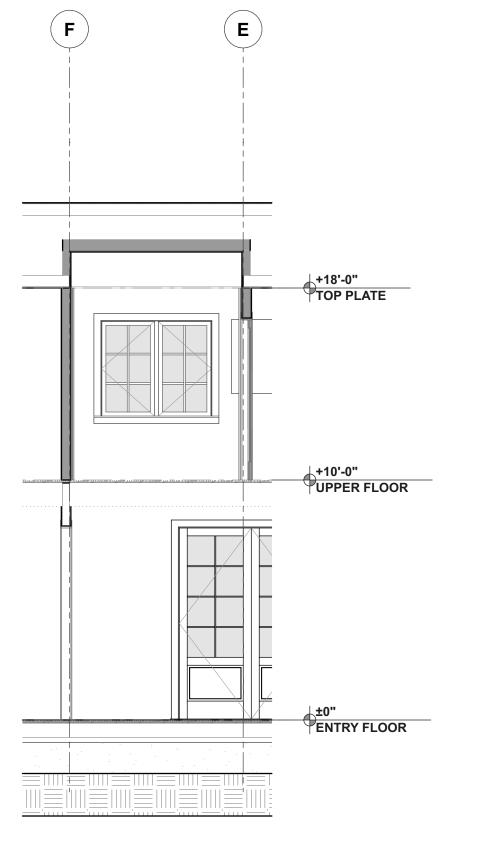
SCALE: 1/4" = 1'-0"

ADU BED

(E) GARAGE

 (\mathbf{A})





SECTION KEY PLAN - UPPER FLOOR

Jochum ARCHITECTS www.jochumarchitects.com 7 A N T O N W A Y NOVATO CA 94945 4 1 5 . 7 6 1 . 9 3 0 1 dave@jochumarchitects.com

Clemons Residence **Renovations & ADU**

Owners:

LEYLAND & KRISTIN
CLEMONS
9 THOMAS COURT
ROSS CA
415.652.3808
lccjr76@icloud.com
MAILING:
PO BOX 346
ROSS CA 94957

P R I N T I N G S

© Jochum architects 2023

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Printed On: 4/9/24

BUILDING SECTIONS

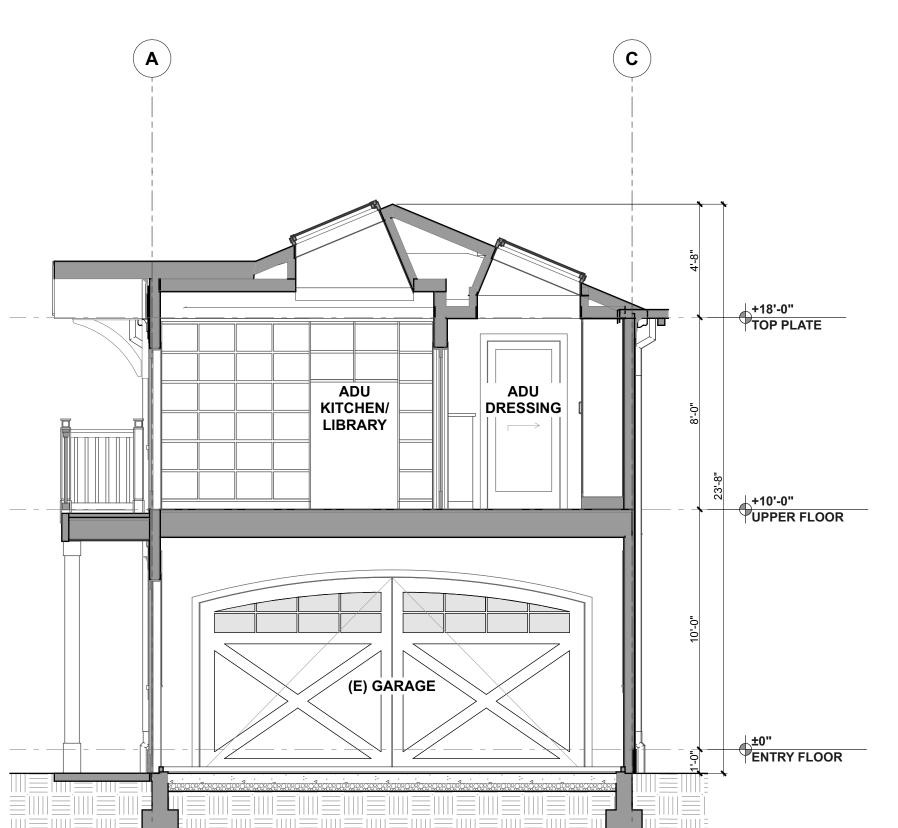
IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY ONE INCH, THEN THE SCALE OF THIS SHEET HAS BEEN ALTERED FROM ITS ORIGINAL - REFER TO

GRAPHIC SCALES ONLY, NOT WRITTEN

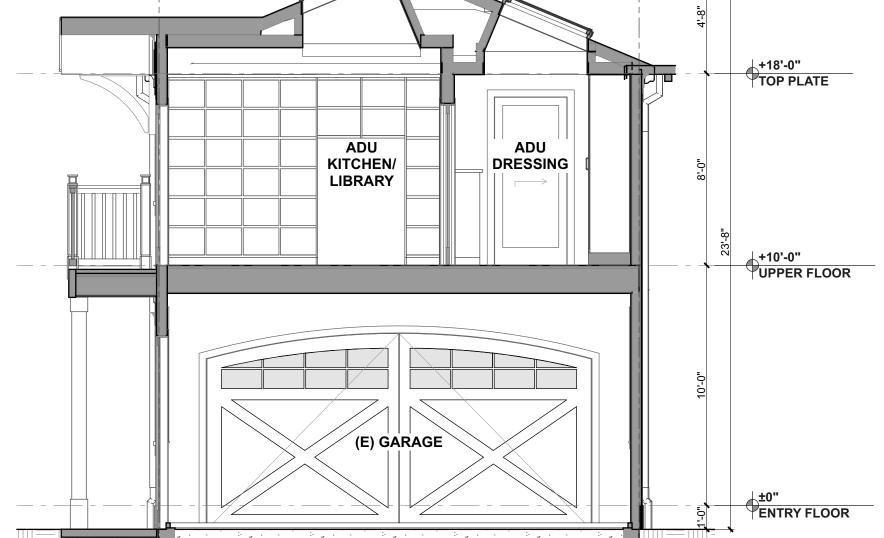
+18'-0" TOP PLATE

+10'-0" UPPER FLOOR

±0" ENTRY FLOOR



SECTION LOOKING SOUTH







Jochum ARCHITECTS
www.jochumarchitects.com

7 ANTON WAY
NOVATO CA 94945
4 15.761.9301
dave@jochumarchitects.com

Clemons Residence Renovations & ADU

9 THOMAS CT. ROSS, CA AP #073-232-36 Job #230502

Owners:
LEYLAND & KRISTIN
CLEMONS
9 THOMAS COURT

CLEMONS
9 THOMAS COURT
ROSS CA
415.652.3808
lccjr76@icloud.com
MAILING:
PO BOX 346
ROSS CA 94957

P R I N T I N G S



Printed On: 4/9/24 ${ ilde O}$ ${ ilde Jochum}$ ARCHITECTS 2023

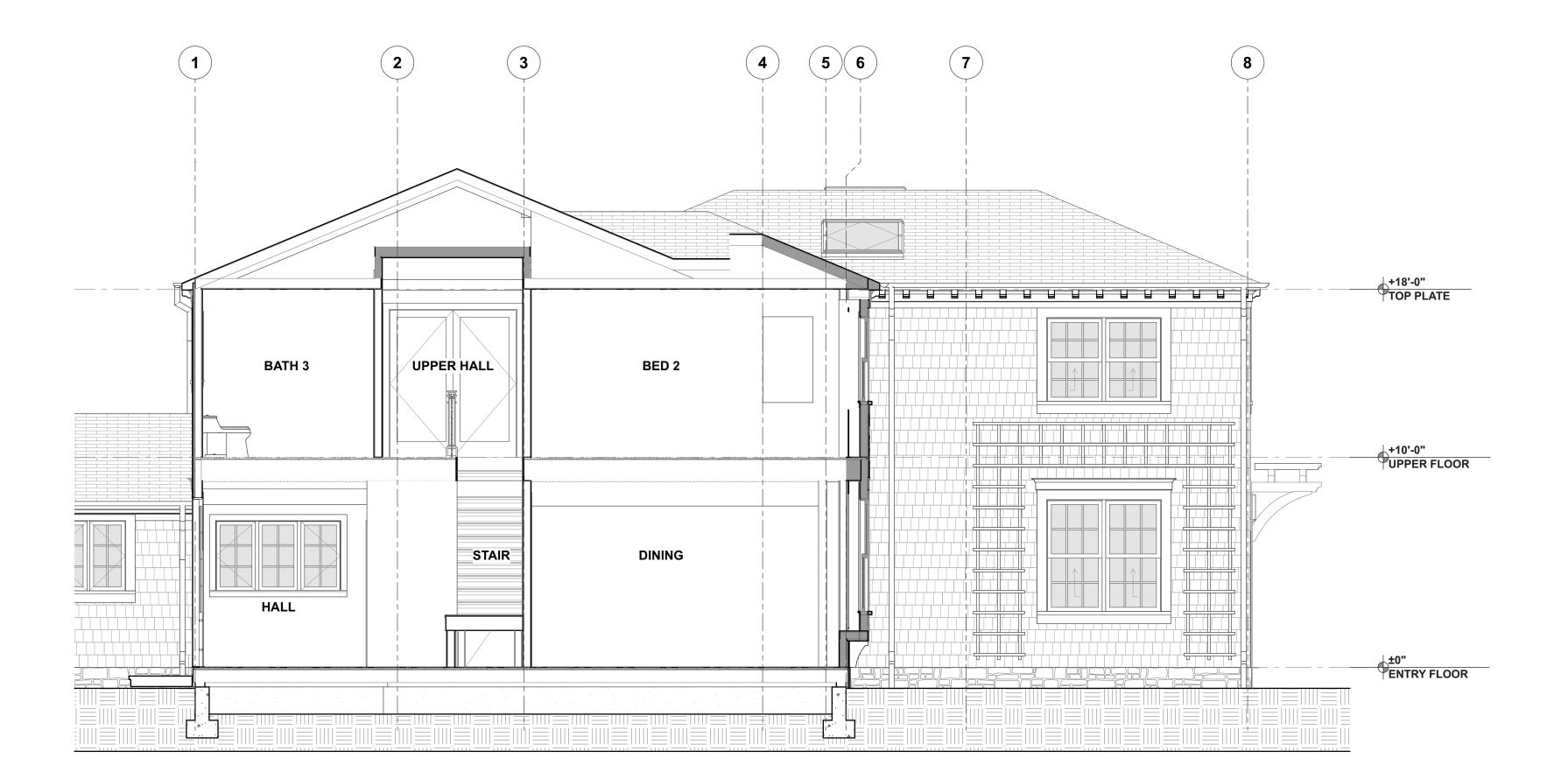
BUILDING SECTIONS

IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY ONE INCH, THEN THE SCALE OF THIS SHEET HAS BEEN ALTERED FROM ITS ORIGINAL - REFER TO GRAPHIC SCALES ONLY, NOT WRITTEN

SECTION KEY PLAN - UPPER FLOOR

2 W-E SECTION @ UPPER HALL

SCALE: 1/4" = 1'-0"



1 E-W SECTION @ BATH 3-UPPER HALL-BATH 3

SCALE: 1/4" = 1'-0"

ATTACHMENT 2



PLANNING APPLICATION FORM

Type of Application (check all that application)						
Appeals Certificate of Demolition F Design Revi Design Revi Exceptions f Final or Parc General Plar Hillside Lot F	welling Unit Exception Compliance Cermit Ew Ew- Amendment or Attics Eel Map In Amendment Permit Ssory Dwelling Unit	ion		Minor Exception F Minor Nonconform Nonconformity Pe Tentative Map Tentative Map Am Time Extension Use Permit Variance Zoning Ordinance Other:	nity Permit rmit nendment	
To Be Completed Assessor's Parcel N Project Address:	lo(s):					
Property Owner:						
Owner Mailing Add		Juss).				
City/State/Zip:	•	· -		r's Phone		
Owner's Email:						
Applicant:						
Applicant Mailing A						
City/State/Zip:		Ap	oplic	ant's Phone:		
Applicant's Email:			•			
Primary point of Co	ntact Email:	Owner	Buy	er	Architect	
To Be Completed by Tov Date Received: Application No.:	vn Staff:					
	Da	te paid:		_ тот	AL FEES:	

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SUBDIVISION INFORMATION ONLY

Number of Lots:		
	LOT LINE AD	JUSTMENT ONLY
Describe the Proposed Lot Lin	an Adiustment	
Bescribe the Proposed Lot Lil	ie Adjustment:	Jec Legranus are required when plans are
Existing Parcel Size(s)	Parcel 1:	Parcel 2:
Adjusted Parcel Size(s)	Parcel 1:	Parcel 2:
PARCEL O	NE de de la constant	PARCEL 2
Owners Signature:	GOLDON LIPS HE	Owner's Signature:
Date:	hy and seminal ah	Date: rounds for separation the explication.
Owner's Name (Please Print)	William Charles Charles	Owner's Name (Please Print):
Assessor's Parcel Number:		Assessor's Parcel Number:
* If there are more than two a	ffected property own	ers, please attach separate letters of authorization.
REZ	ZONING OR TEX	CT AMENDMENT ONLY
		Celfornia on
		of the Ross Municipal Code Title from theZoning District to
GENERA	AL OR SPECIFIC	PLAN AMENDMENT ONLY
Please describe the proposed	d amendment:	
CERTIFICATION AND SIGN	IATURES	shoe from the Town of any proposal to accet
I, the property owner, do hereby representative during the review	y authorize the app y process by City s	
Owner's Signature:	10-	Date: 4/8/24
I, the applicant, do hereby decontained in this application, i accurate to the best of my known	ncluding any supp	y of perjury that the facts and information lemental forms and materials, are true and
Owner's Signature:	(00) -	Date: 4/8/24

SIGNATURE:

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

	, C	California on
- Seil		And I
Signature of Property Owner(s)	and	Applicant(s)Signature of Plan Preparer

Notice of Ordinance/Plan Modifications

□ Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Consultant Information

The following information is required for all project consultants.

Landscape Architect			
Firm			
Project Landscape Architect			
Mailing Address			
City	_State	ZIP	
Phone			
Email			
Town of Ross Business License No		Expiration Date	
Civil/ Geotechnical Engineer			
FirmProject Engineer			
Project Engineer			
Mailing Address			
City	_State	ZIP	
Phone			
Email			
Town of Ross Business License No		Expiration Date	
Arborist			
Firm			
Project Arborist			
Mailing Address			
City			
Phone	Fax		
Email			
Town of Ross Business License No		Expiration Date	
Other			
Consultant			
Mailing Address			
City			
Phone	Fax		
Email			
Town of Ross Business License No		Expiration Date	
Other			
Consultant			
Mailing Address			
City	_State	ZIP	
Phone	Fax		
Email			
Town of Ross Business License No.		Expiration Date	

Written Project Description – *may be attached.*

A complete description of the proposed project, <u>including all requested types of application</u>, <u>such as variances</u>, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, **be thorough in the description**. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

1. REPLACEMENT OF EXTERIOR SIDING - CONVERT FROM BOARD LAP SIDING TO CEDAR SHINGLE w/WOOD TRIM DETAILS
2. REPLACEMENT OF SIDING AT CHIMNEY - CONVERT FROM BOARD LAP SIDING TO
STONE VENEER MATCHING EXISTING SITE WALLS
3. REPLACEMENT OF ROOFING - CONVERSION FROM COMPOSITION TO LIGHTWEIGHT SLATE SHINGLES
4. REPLACEMENT OF GSM GUTTER AND RWLs WITH COPPER UNITS
5. REPLACE SINGLE PANE WINDOWS WITH INSULATED UNITS
6. REPLACEMENT OF ENTRY ROOF
7. NEW GARAGE DOOR
8. NEW PAINTED WOOD ARBOR ABOVE GARAGE DOOR
9. NEW ROOF OVERHANG AT KITCHEN DOOR

Mandatory Findings for Variance Applications
In order for a variance to be granted, the following mandatory findings must be made:

in order for a variance to be granted, the following mandatory infamigs must be made.
Special Circumstances That because of special circumstances applicable to the property, including size, shape topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. Describe the special circumstances that prevent conformance to pertinent zoning regulations.
Substantial Property Rights That the variance is necessary for the preservation and enjoyment of substantial property rights. Describe why the project is needed to enjoy substantial property rights.

Public Welfare That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. Describe why the variance will not be harmful to or incompatible with other nearby properties.

Neighborhood Outreach – Shall be conducted for all discretionary planning projects.

A neighborhood outreach description shall be prepared by the applicant. The description shall include how neighborhood outreach was conducted, dates neighbors were contacted, any meetings held, the specific concerns of neighbors and how those concerns were mediated (through changes to the proposal, site visits, etc.).

Neighborhood Outreach for (insert project address)					
NAME	ADDRESS	DATE CONTACTED	CONCERNS (IF ANY)	RESOLUTION	

CURRENTLY COLLECTING

9 Thomas Court Neighborhood Outreach

- 7 Thomas Court Joey Buckingham. Joey is aware and no objections.
- 8 Thomas Court Spoke with occupants son, Paul, as she is bedridden. He said he is supportive and his mother would have no objections.
- 10 Thomas Court Spoke with Steve and Kathryn Hohenrieder and they did not express and objections.
- 18 Madrona Spoke with the Bergs. They are aware of the project and have no objections.
- $16\,\mbox{Madrona}.$ Spoke with Tony Rose. He is aware of the project and has no objections.

153 Lagunitas. Have tried to speak with them a couple of times but no luck. They cannot see our house at all as the only contiguous lot line is in the rear western corner of their lot with many large trees that provide screen/privacy.