



Staff Report

Date: May 21, 2024
To: Advisory Design Review Group
From: Alex Lopez-Vega, Assistant Planner
Subject: 9 Thomas Court, (DRP24-0006)

Recommendation

ADR Group consideration and recommendation to the Town Council regarding the merits of the project and consistency with the Design Review criteria and standards of Ross Municipal Code (RMC) Section [18.41 Design Review](#).

Project Information

Property Owner: Leland and Kristin Clemons
Applicant: Jochum Architects
Street Address: 9 Thomas Court
Parcel Number: 073-232-36
Zoning: R-1: B-10
General Plan: ML (Medium Low Density)
Flood Zone: X (Moderate Risk)

Project Data

	Code Standard	Existing	Proposed
Lot Area	10,000 SF	13,600 SF	No change
Building Coverage	20%	House 3,249 (22%)	No Change

Project Description

The applicant requests a recommendation from the Town Council for Design Review, and a Demolition Permit. The project proposes an interior and exterior remodel which will include a new gable entry roof, removal of the existing board lap siding and replacing it with cedar shingles with wood trim. The project also proposes to replace the existing windows with new insulated

windows, and a new garage door. A demolition permit is required to alter more than twenty-five percent of the exterior wall coverings of a residence.

A separate application has been submitted for ministerial review of an Accessory Dwelling Unit (ADU) Permit to construct a new attached ADU on top of the existing two-car garage. The ADU Permit application is not subject to discretionary review.

Project plans are included as **Attachment 2**; Project Application and Materials are included as **Attachment 3**.

The proposed project is subject to the following permit approval:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** to allow for any project resulting in the removal or alteration of more than twenty-five percent of the exterior walls or wall coverings of a residence.
- **Demolition Permit is required pursuant to RMC 18.50.020** for alteration of more than twenty-five percent of exterior wall coverings of a residence.

Background

The project site is a 13,600 square-foot lot on Thomas Court. The lot has a single-family residence which includes an attached garage, and a pool. The property is home to an extensive collection of trees and mature vegetation.



Discussion

The overall purpose of the Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include; provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town", low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individuals buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development. The Design Review criteria and standards per RMC Section 18.41.100 can be found here: [18.41 Design Review](#).

Public Comment

At the time of writing this report, no comments were received from the public regarding the project.

Attachments

1. Project Plans
2. Project Application & Materials

ATTACHMENT 1



MATERIALS & COLORS

Clemons Residence • 9 Thomas Ct. Ross CA



Lightweight Slate Roofing

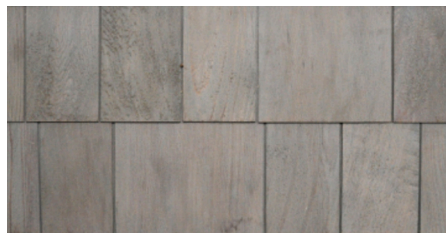


SlateTec Semi-weathering Vermont Grey



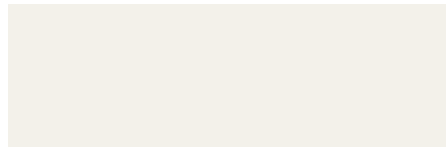
Copper Gutters & RWLs

Weathering Copper



Fire Treated Cedar Sidewall Shingles

Watkins Sawmills Oriental Teak



Windows, Doors, Trim

Stone White

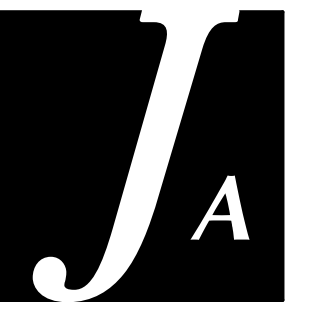


Stone Veneer @ Chimney & Foundation

Eldorado Stone Polermo

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Clemons Residence Renovations & ADU

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Job #230502

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ROSS CA 94957

SITE DEMO PLAN GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRASH, STAGING, AND OTHER SIMILAR LOCATIONS APPROVALS WITH THE BUILDING DEPARTMENT.
- B. DEMO AREAS SHOWN SHADED
- C. DASHED LINES INDICATE DEMO, SETBACK LINES, OR OVERHEAD ELEMENTS AS APPROPRIATE - SEE REFERENCE NOTES

SITE DEMO PLAN REFERENCE NOTES

- 1. PROPERTY LINE - TYP.
- 2. 25' FRONT SETBACK
- 3. 15' SIDE SETBACK
- 4. 40' REAR SETBACK
- 5. (E) WATER METER
- 6. (E) ELEC. METER & MAIN BREAKER
- 7. DEMO GARAGE & STORAGE + PARTIAL FAMILY RM.
- 8. (E) NATURAL GAS METER
- 9. (E) WD. FENCE TO REMAIN
- 10. DEMO WD. FENCE
- 11. (E) STONE STEPS
- 12. DEMO PORTION OF GABLE ROOF FOR (N) HIP FRAMING
- 13. PARTIAL WALL DEMO @ BOTH FLOORS FOR (N) BAY
- 14. DEMO ENTRY ROOF & SUPPORT STRUCTURE
- 15. REMOVE A/C CONDENSERS - STORE & PROTECT FOR LATER PLACEMENT & USE

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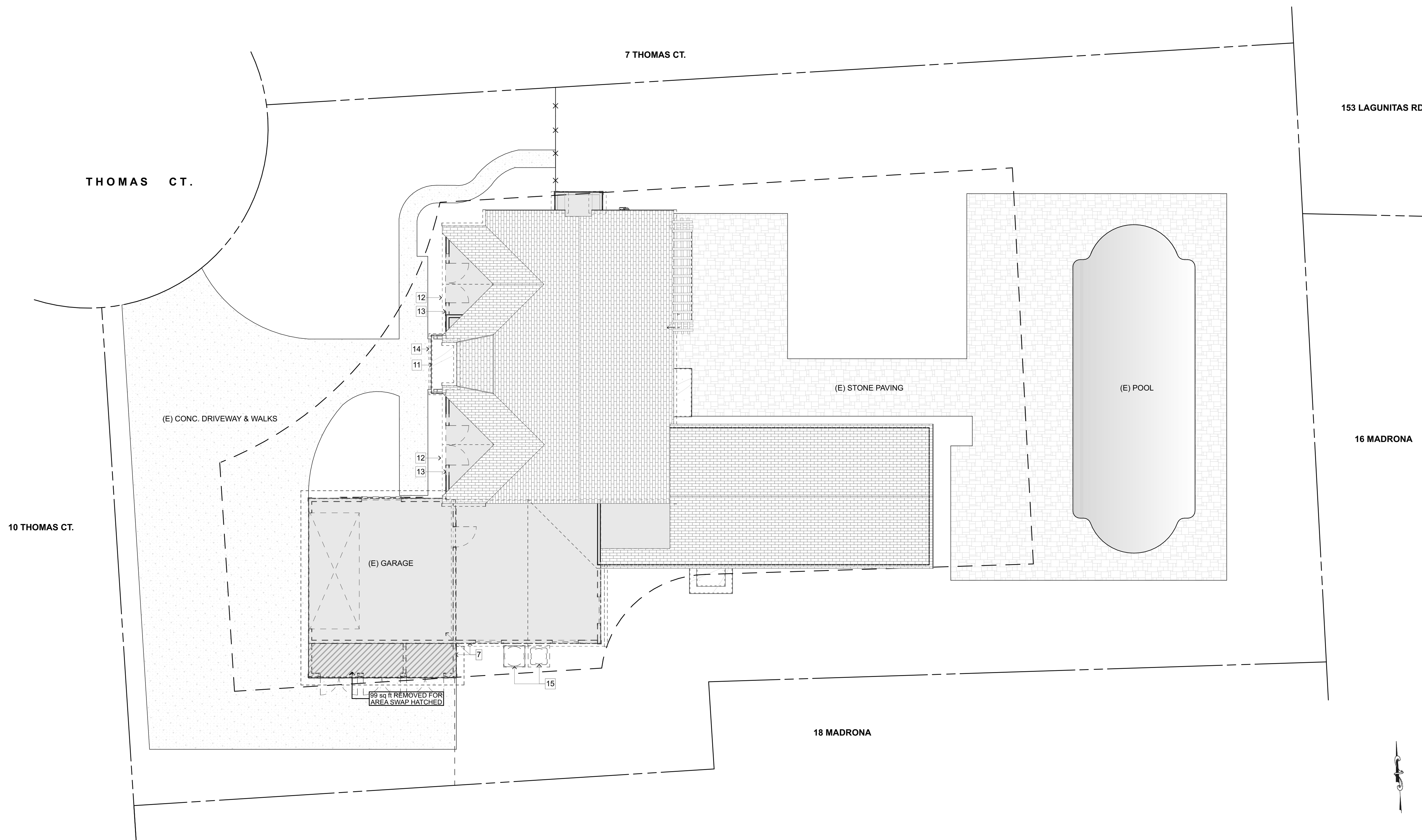
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SITE DEMOLITION PLAN

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY ONE INCH, THEN THE SCALE OF THIS SHEET HAS BEEN ALTERED FROM ITS ORIGINAL - REFER TO GRAPHIC SCALES ONLY, NOT WRITTEN

A2.1

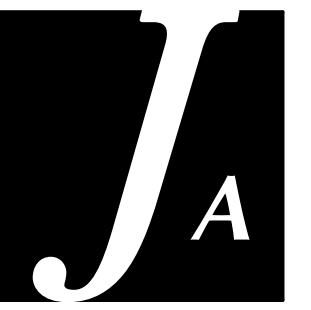


1 DEMO SITE PLAN

SCALE: 1/8" = 1'-0"



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SITE PLAN GENERAL NOTES

- A. ALL ITEMS IDENTIFIED BELOW ARE NEW CONSTRUCTION UNLESS LABELED "(E)".
- B. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRASH, STAGING, AND OTHER SIMILAR LOCATIONS APPROVALS WITH THE BUILDING DEPARTMENT.
- C. PARKING SPACES #1 & #2 ARE IN GARAGE AND SHOWN ON SHT. A3.1 ENTRY FLOOR PLAN.
- D. (N) ROOF SHOWN SHADED.

SITE PLAN REFERENCE NOTES

- 1. PROPERTY LINE - TYP.
- 2. 25' FRONT SETBACK
- 3. 15' SIDE SETBACK
- 4. 47' REAR SETBACK
- 5. (E) WATER METER
- 6. (E) ELEC. METER & MAIN BREAKER
- 7. (N) ADU ELECTRIC METER & MAIN BREAKER
- 8. (E) NATURAL GAS METER - VERIFY EXISTENCE OF OR INSTALL AN EXCESS FLOW TYPE AUTOMATIC GAS SHUTOFF VALVE (LMC 15.15.020)
- 9. (E) WD. FENCE
- 10. (N) WD. FENCE
- 11. (E) STONE STEPS
- 12. (N) ILLUMINATED ADDRESS NUMBERS
- 13. (N) HIP ROOF ABOVE BAY WINDOW
- 14. (N) ADU ACCESS STAIR
- 15. RELOCATED A/C CONDENSERS
- 16. WALLS BELOW SHOWN WITH HEAVY DASHED LINE
- 17. (N) ARBOR ABOVE GARAGE DOOR
- 18. (N) ARBOR ABOVE TERRACE
- 19. (N) GABLE ROOF @ ENTRY
- 20. (N) SHED ROOF @ KITCHEN ENTRY

PROJECT LOCATION

37.9598299803406, -122.5619445007039

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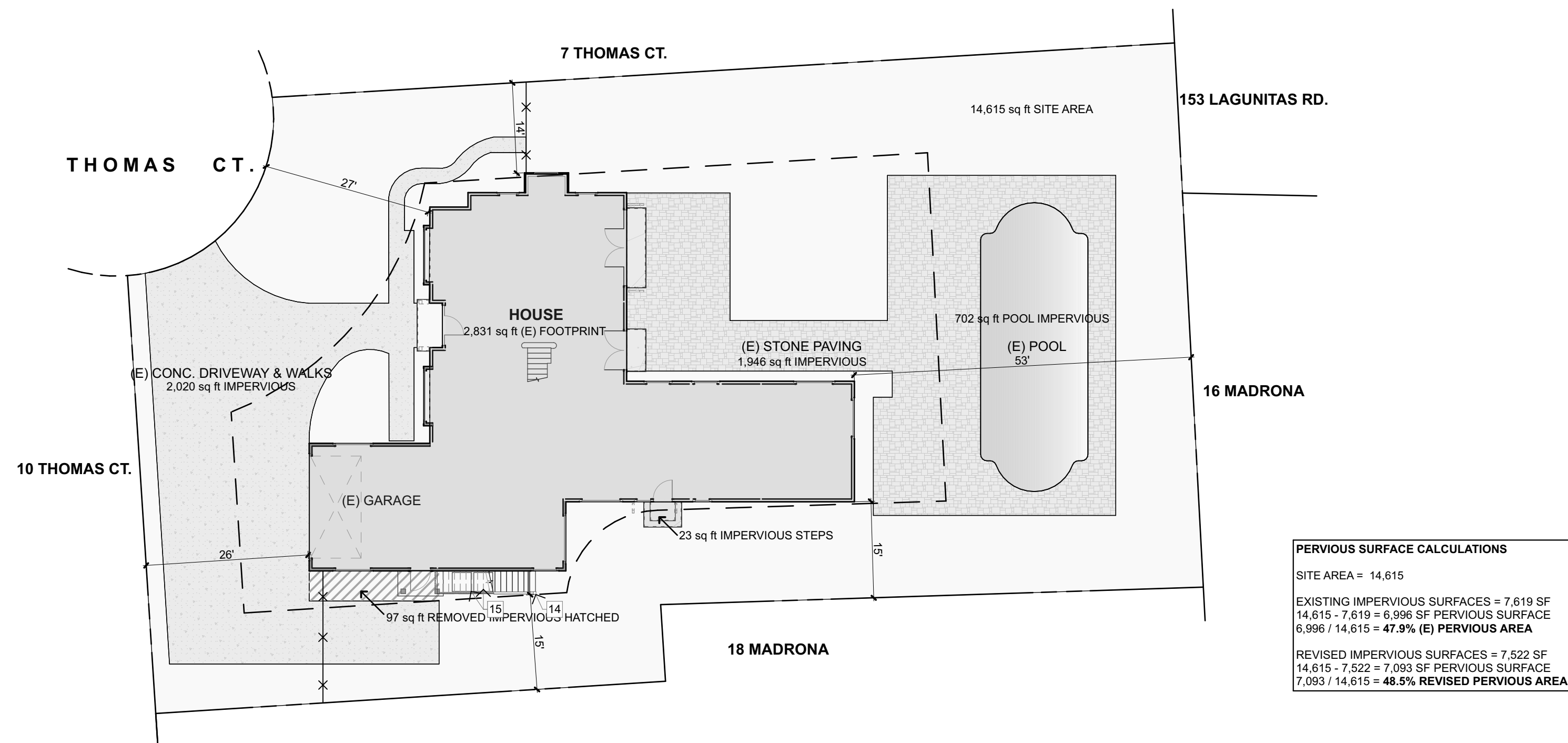
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**SITE PLAN &
 IMPERVIOUS
 SURFACES**

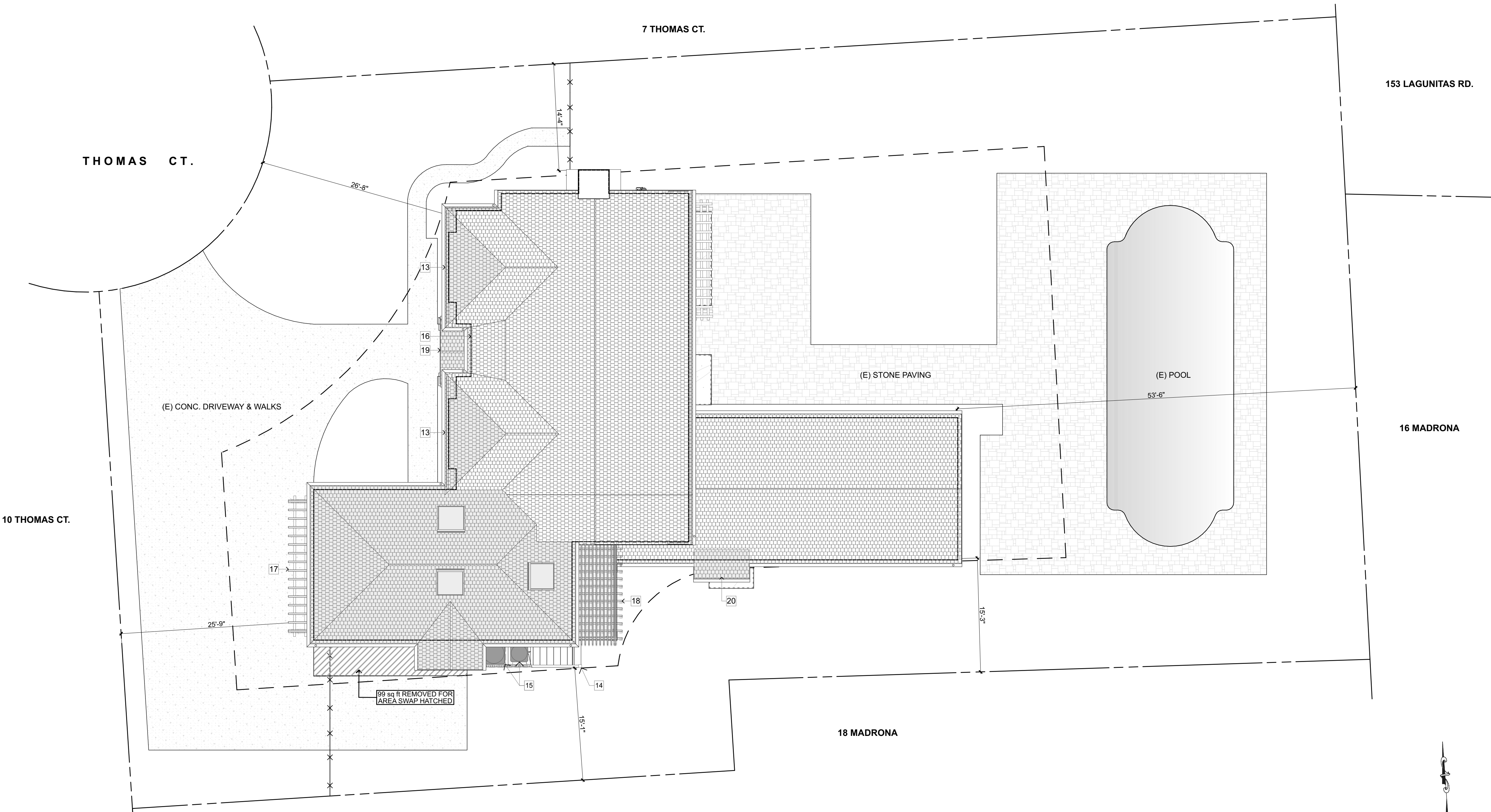
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A2.2



2 IMPERVIOUS SURFACE CALCULATION

SCALE: 1/16" = 1'-0"



1 SITE PLAN

SCALE: 1/8" = 1'-0"



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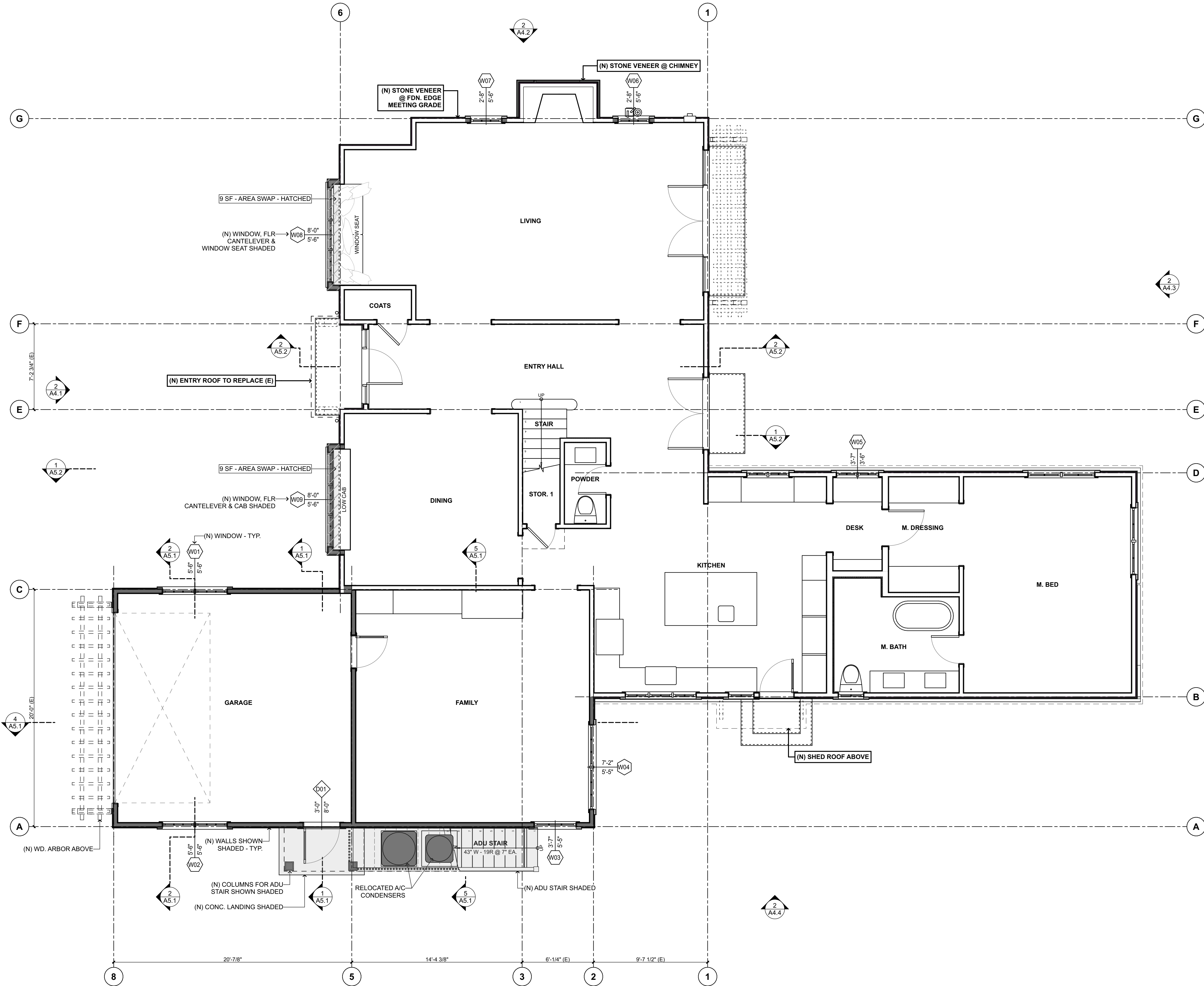
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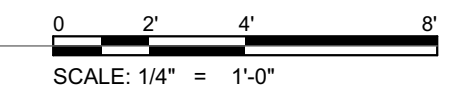
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**ENTRY FLOOR
 PLAN**

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NOTE:
 ADR ITEMS IDENTIFIED WITH BOLD, BORDERED LABEL



A3.1

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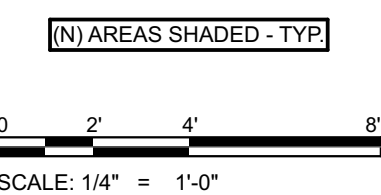
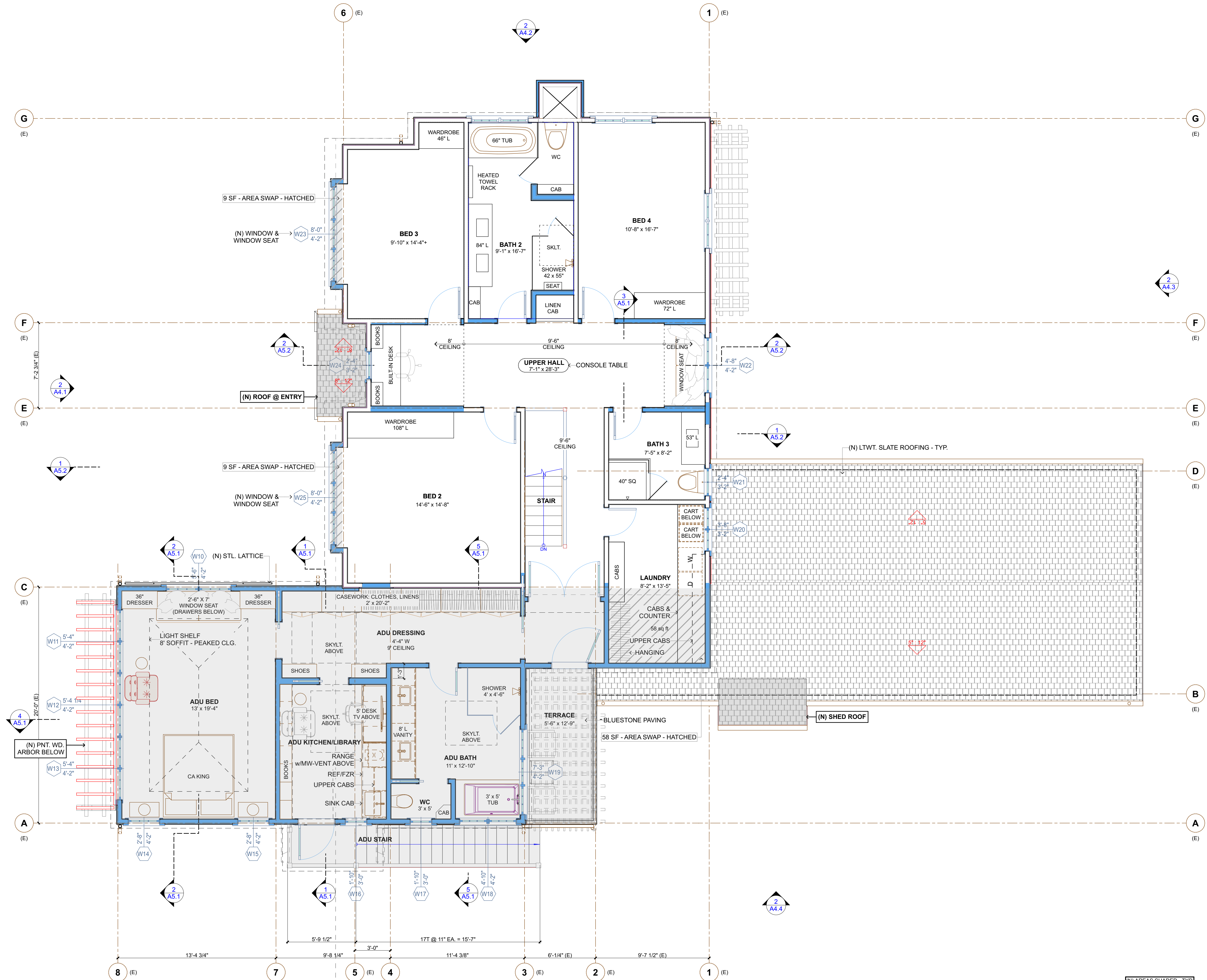
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**UPPER FLOOR &
LOWER ROOF
PLAN**

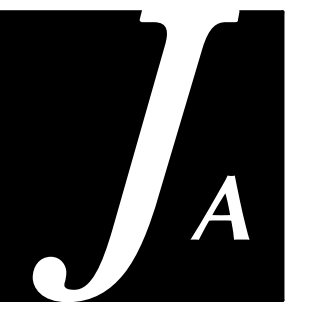
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A3.2



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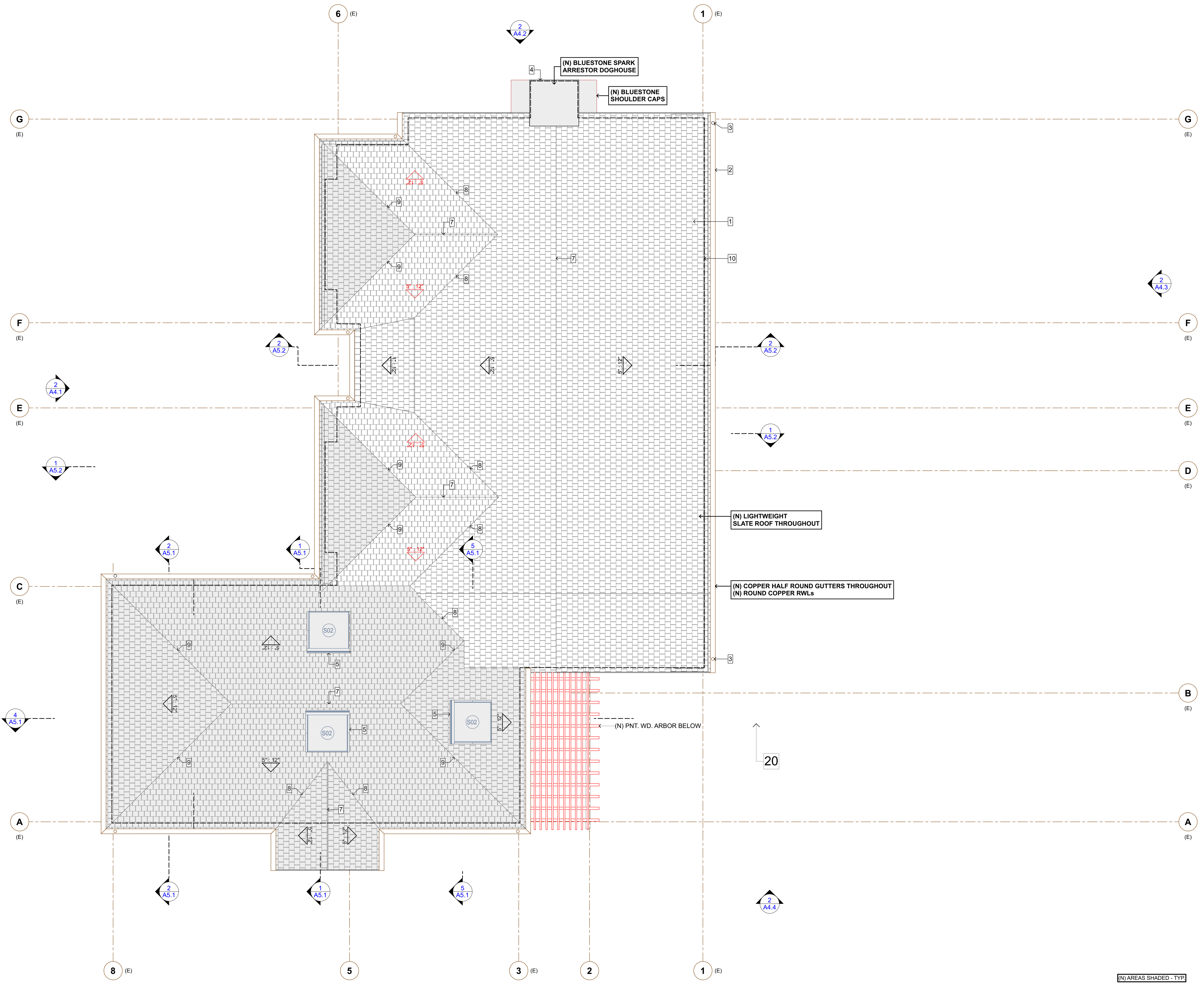
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UPPER ROOF PLAN

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A3.3



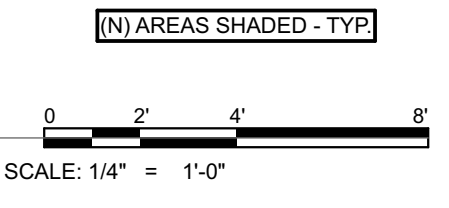
ROOF PLAN GENERAL NOTES

- A. ALL ROOFING SHALL HAVE A CLASS 'A' FIRE RATING.
- B. ADHERE TO ALL ROOFING MANUFACTURER'S INSTALLATION REQUIREMENTS AND SPECIFICATIONS INCLUDING SUBSURFACE PREPARATION, MATERIAL HANDLING, UNDERLAYMENT, ATTACHMENT, FLASHING, AND HANDLING OF ROOF PENETRATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS WITH DRAWINGS AND SPECIFICATIONS.
- C. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A WATER TIGHT ROOF.
- D. PROVIDE LEAF AND DEBRIS GUARDS ON ALL ROOF GUTTERS.
- E. NO ATTIC VENTING - ATTIC ENVELOPE SHALL BE COMPLETELY ENCLOSED WITH SPRAY FOAM INSULATION. SEE BUILDING SECTIONS.
- F. ALL FLASHINGS TO BE 16 OZ. COPPER.
- G. PROVIDE CLEANOUTS IN ALL GUTTER DOWNSPOUTS JUST BEFORE ENTERING HORIZ. UNDERGROUND DRAINAGE PIPING SYSTEM PER 2016 C101.13.1.

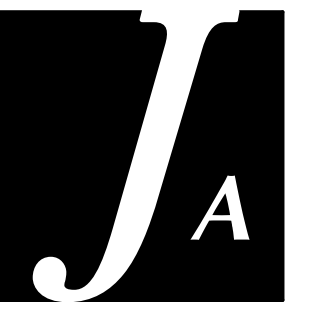
ROOF PLAN REFERENCE NOTES

- 1. LIGHTWEIGHT GAF "TRUSLATE" ROOFING - SEE SPECIFICATIONS FOR MANUFACTURER / MODEL # COLOR, UNDERLAYMENT-MIN. 15 LB. ROOFING FELT & INSTALLATION REQUIREMENTS - PROVIDE EDGE AND PENETRATION FLASHING PER MFR. - VERIFY USE @ LOW PITCH AREA.
- 2. 5" DIA HALF ROUND COPPER SEAMLESS GUTTER - TYP.
- 3. 3" DIA. ROUND COPPER RWL - SEE BLDG. ELEVATIONS - S.C.D. REGARDING TERMINATION LOCATION AND DETAILS.
- 4. (N) STONE VENEER ON CHIMNEY
- 5. SELF-CURBING SKYLIGHTS - SEE SKYLIGHT SCHEDULE
- 6. DASHED LINE OF EXT. WALL BELOW - TYP.
- 7. RIDGE - RIDGE CAP ROOFING PER MFR. SPECS.
- 8. VALLEY - FORM PER MFR. SPECS.
- 9. HIP - HIP CAP ROOFING PER MFR. SPECS.
- 10. OUTLINE OF WALLS BELOW SHOWN BY HEAVY DASHED LINE

NOTE:
ADR ITEMS IDENTIFIED WITH BOLD, BORDERED LABEL



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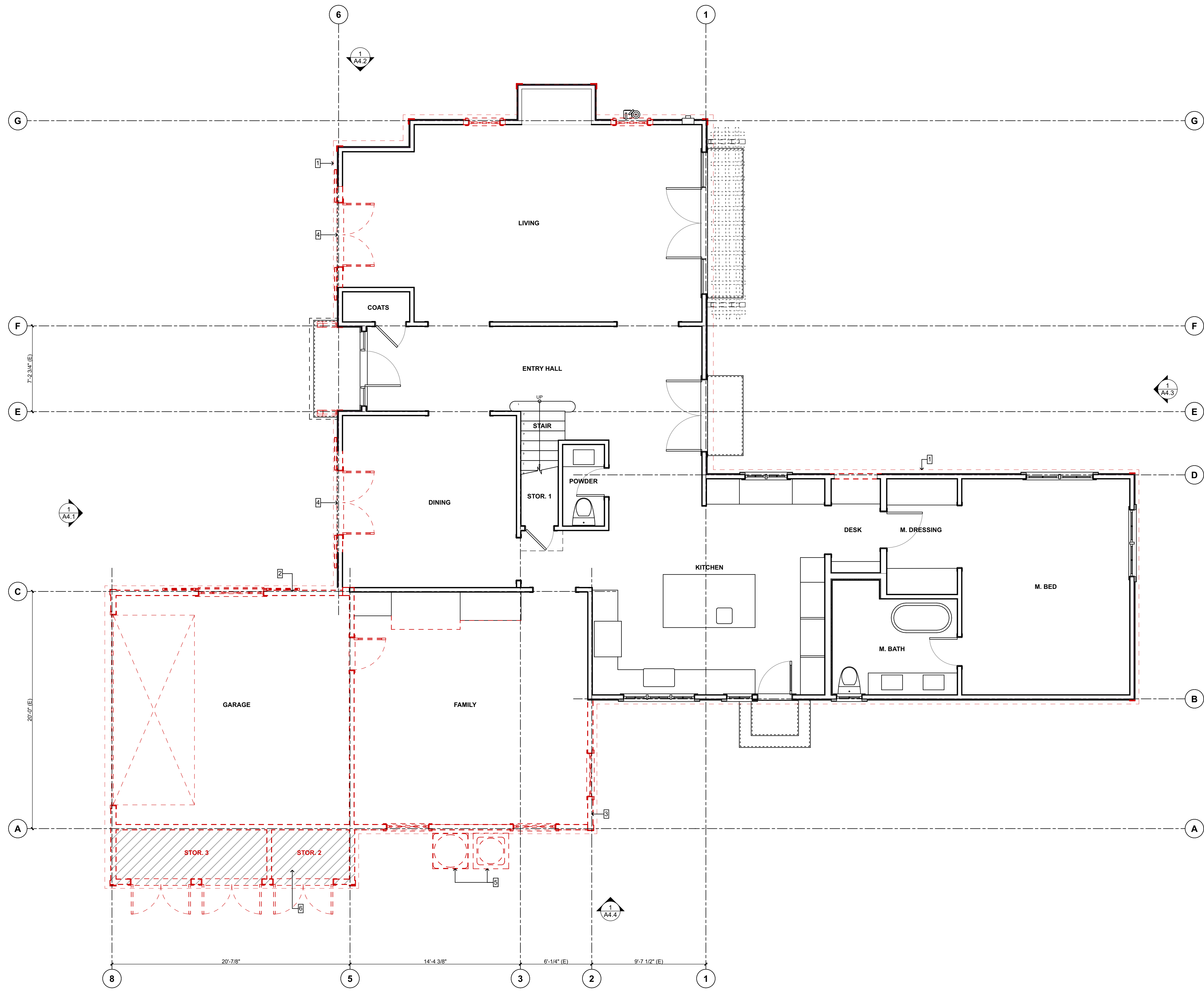
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DEMO PLAN - ENTRY FLOOR

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A3.4



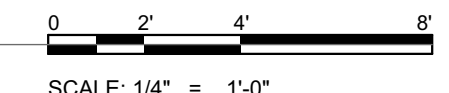
DEMO FLOOR & ROOF PLAN GENERAL NOTES

A. DISPOSE OF ALL DEBRIS PER GREEN REGULATIONS

DEMO FLOOR & ROOF PLAN REFERENCE NOTES

1. LINE OF ROOF ABOVE SHOWN DASHED
2. DEMO DASHED WALLS - GARAGE
3. DEMO DASHED WALLS - FAMILY
4. DEMO DASHED PORTION OF WALLS, DOORS & DOORS FOR (N) BAY WINDOWS
5. REMOVE AC CONDENSERS - PROTECT & STORE FOR RELOCATION - DEMO PADS
6. DEMO STORAGE RIMS. SHOWN HATCHED - 95 SF REMOVED TO ALLOW FOR LAUNDRY RM. ADDITION & 4 BAY WINDOWS (94 SF TOTAL)
7. DEMO WALLS, DOORS, & BATH FIXTURES SHOWN DASHED
8. DEMO WINDOWS SHOWN DASHED
9. DEMO ENTRY ROOF STRUCTURE
10. DEMO ROOF STRUCTURES SHOWN DASHED OVER GARAGE & FAMILY RM.
11. DEMO ALL GUTTERS & RWLS
12. DEMO ALL COMP. SHINGLE ROOFING & UNDERLAYMENT
13. DEMO GABLE PORTION OF ROOF FOR CONVERSION TO HIP STRUCTURE - S.S.D.

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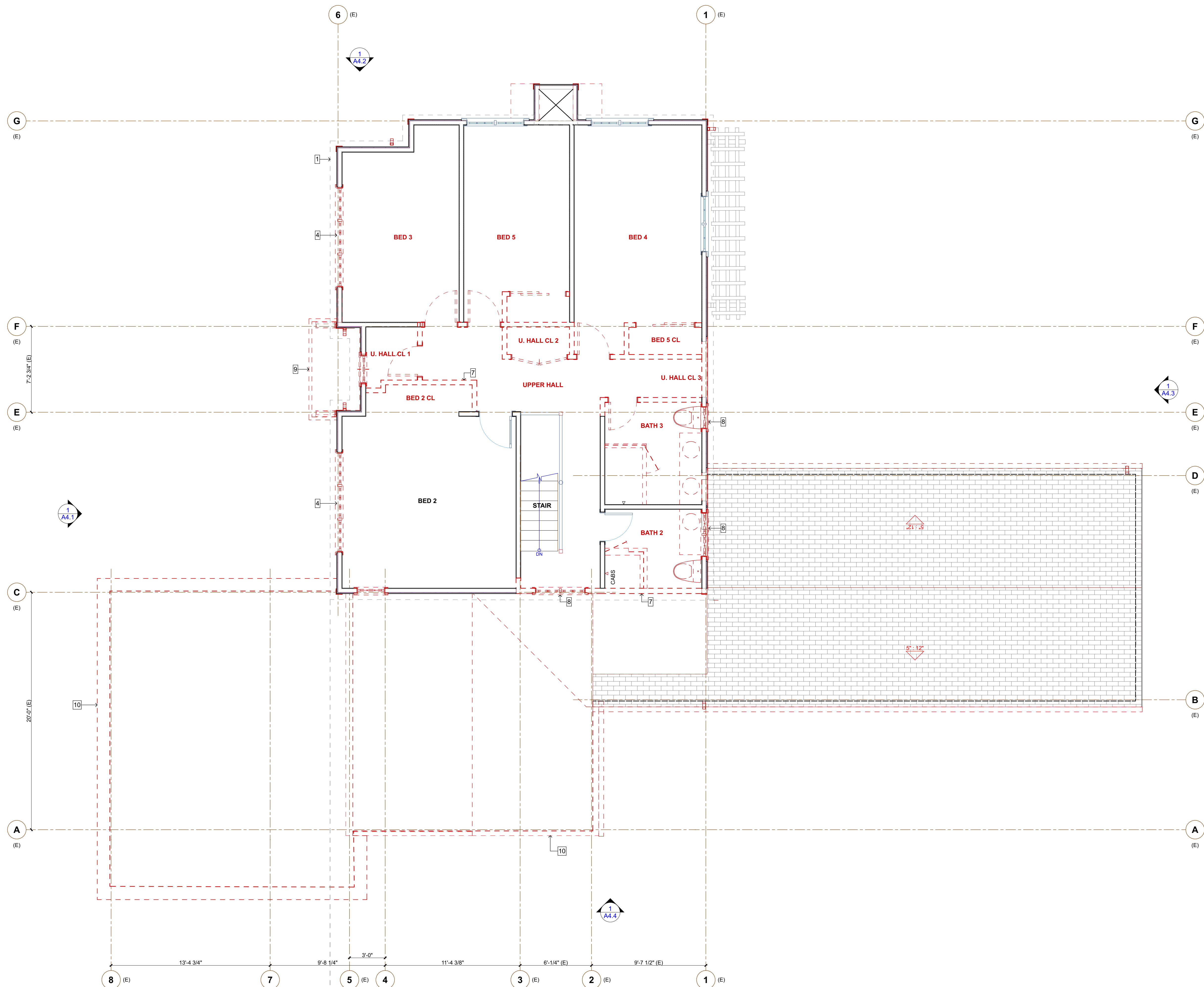
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DEMO PLAN - UPPER FLOOR & LOWER ROOF

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A3.5

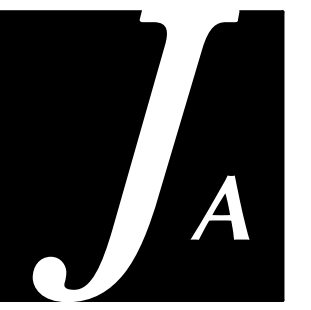


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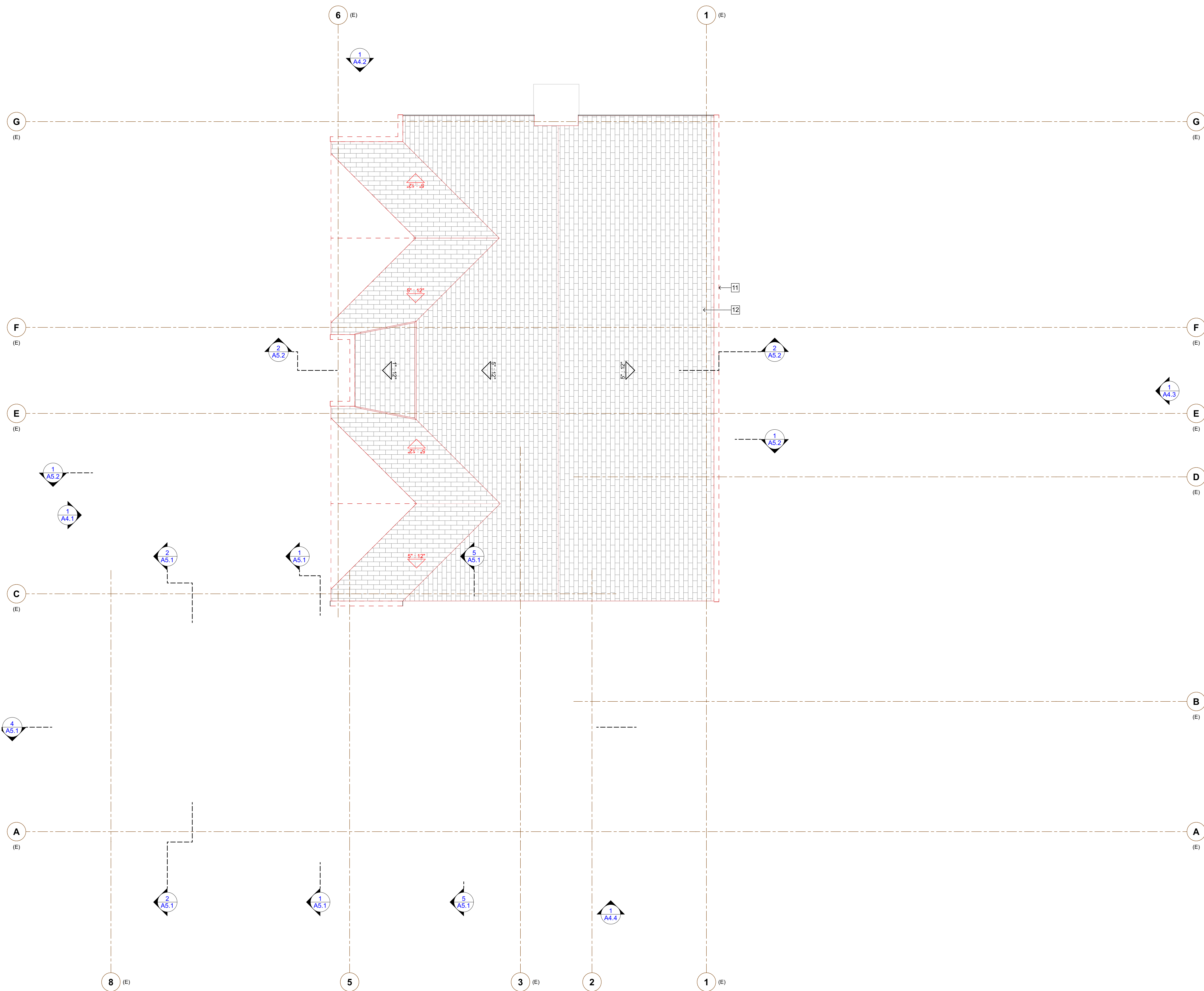
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DEMO UPPER ROOF PLAN

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A3.6



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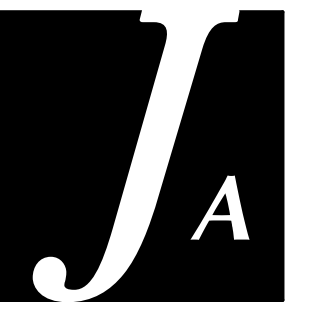
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8. DEMO WINDOWS SHOWN DASHED
9. DEMO ENTRY ROOF STRUCTURE
10. DEMO ROOF STRUCTURES SHOWN DASHED OVER GARAGE & FAMILY RM.
11. DEMO ALL GUTTERS & RWLS
12. DEMO ALL COMP. SHINGLE ROOFING & UNDERLAYMENT
13. DEMO GABLE PORTION OF ROOF FOR CONVERSION TO HIP STRUCTURE - S.S.D.

J:\Users\dave\Documents\JAZZ-PROJECTS\Dave's Projects\Clemons\PLN - ARCHIVES\PLN - BPN - BACKUPS\Clemons2.pln

SCALE: 1/4" = 1'-0"



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 ROSS, CA
 AP #073-232-36
 Job #230502

Owners:
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 ROSS CA
 415.652.3808
 lccjr76@icloud.com
 MAILING:
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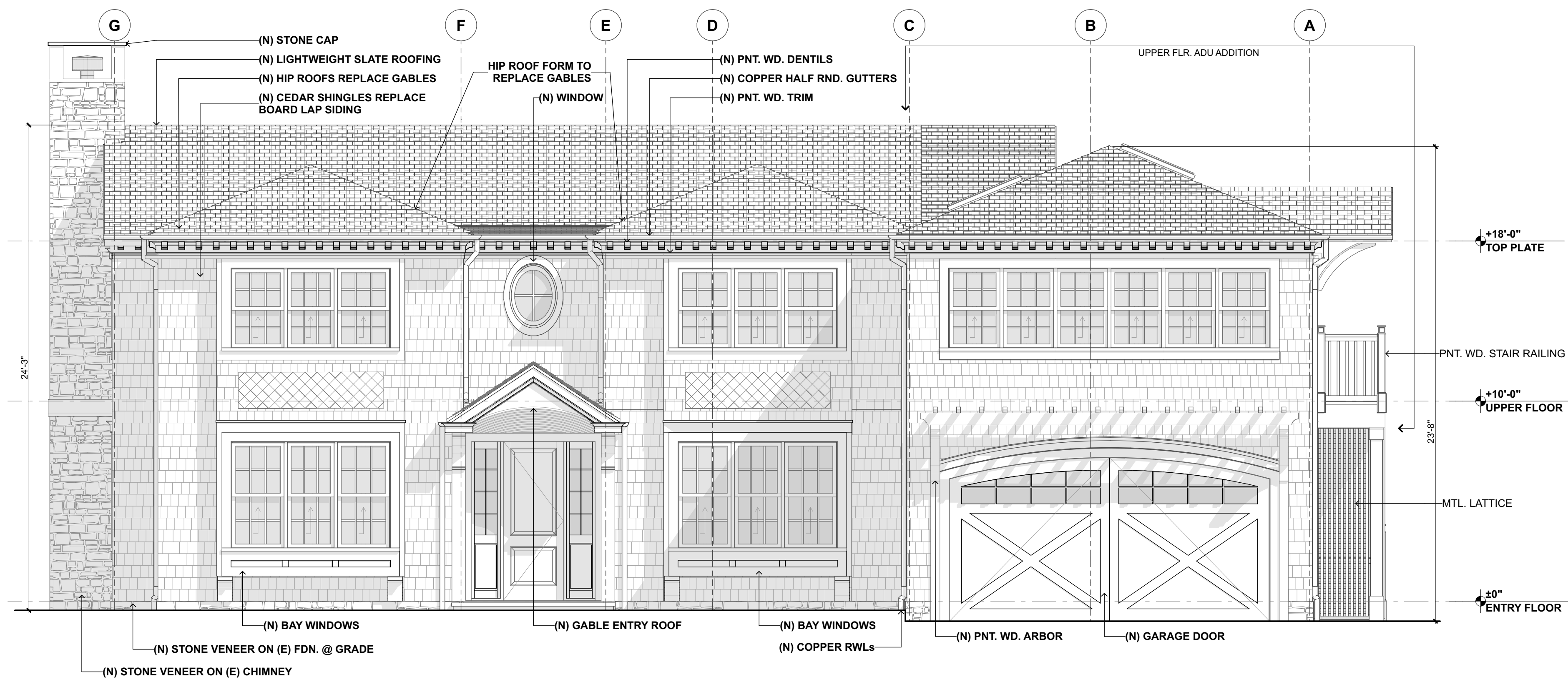
BUILDING ELEVATIONS

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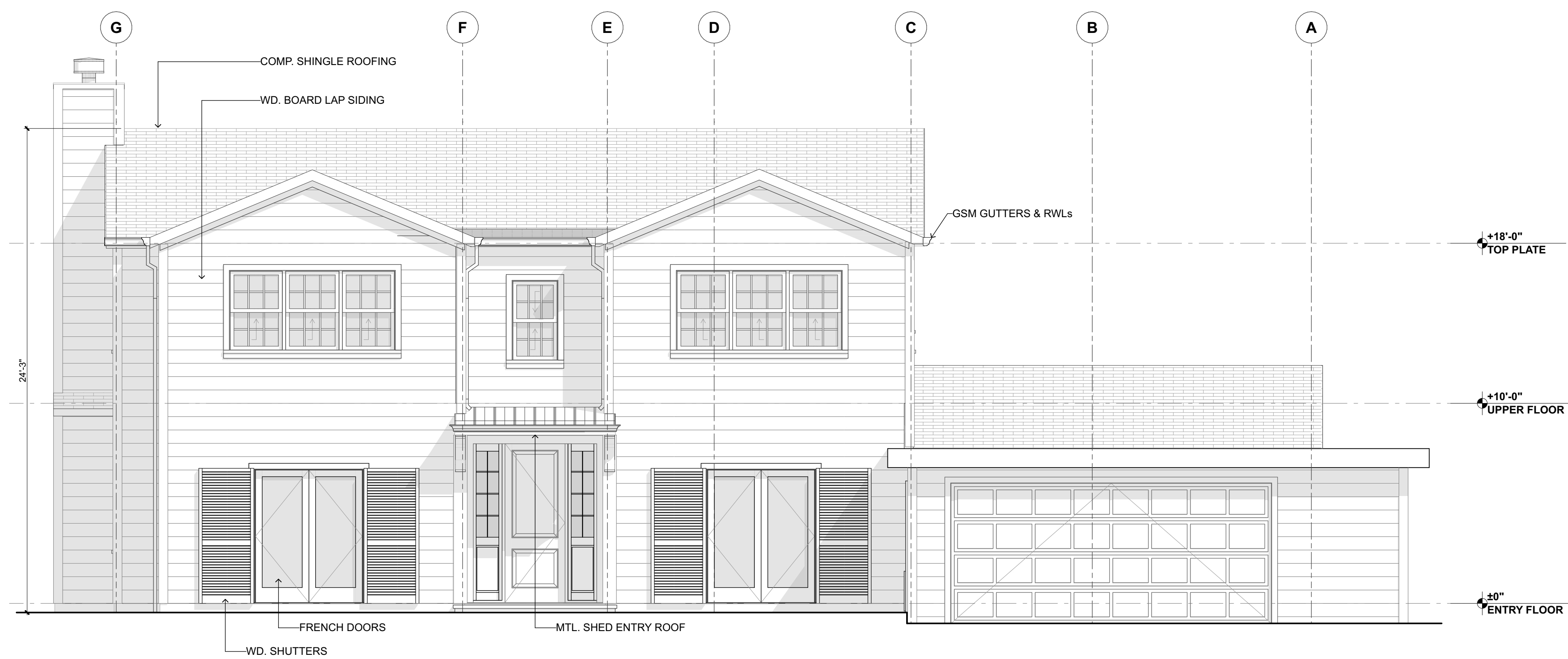
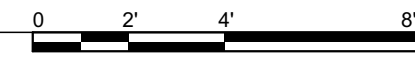
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NOTE:
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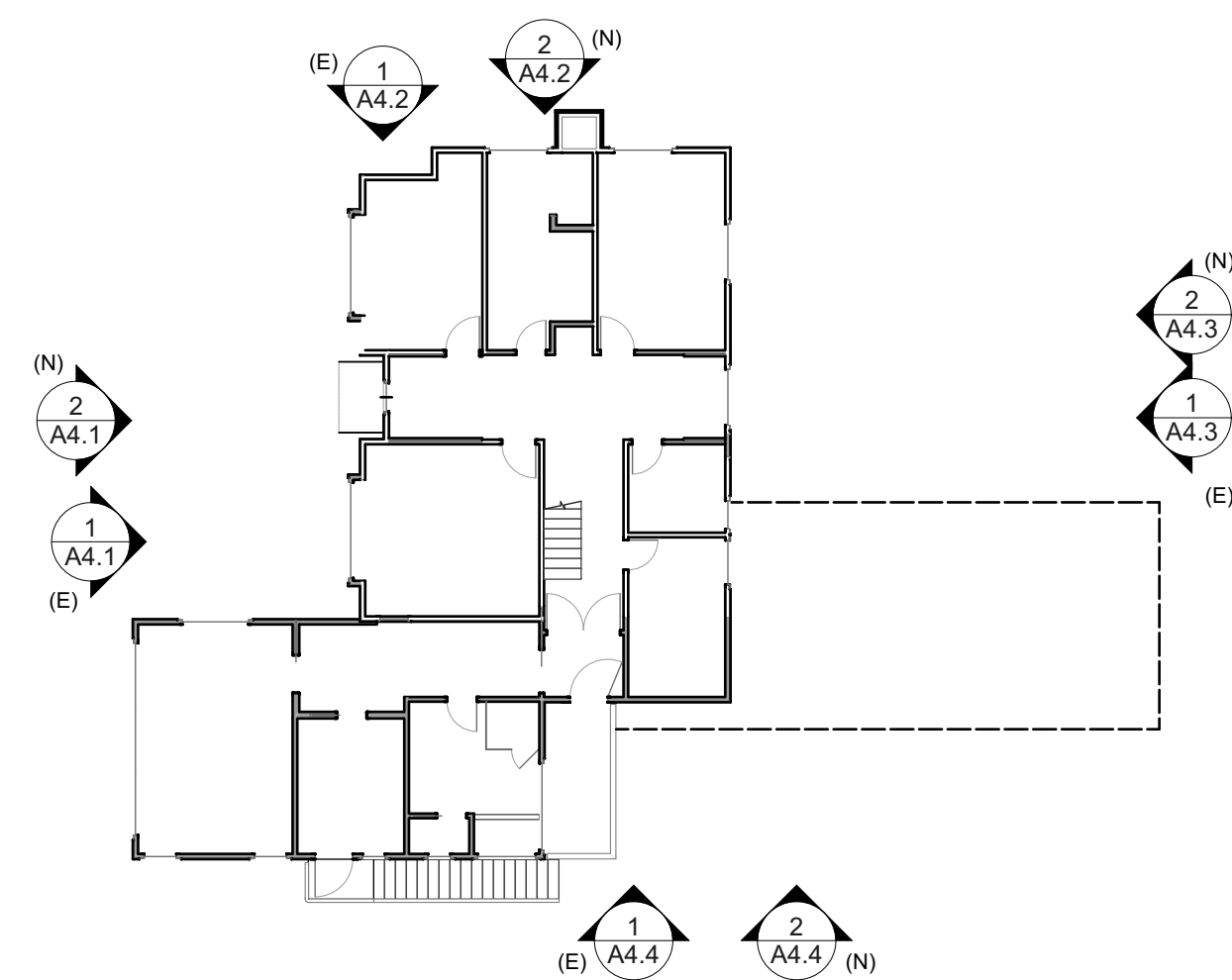
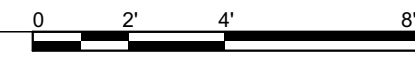
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- ADDITION OF A PAINTED WOOD ARBOR ABOVE THE GARAGE DOOR
- CHANGE OF GARAGE DOOR DESIGN



2 (N) WEST ELEVATION
 SCALE: 1/4" = 1'-0"

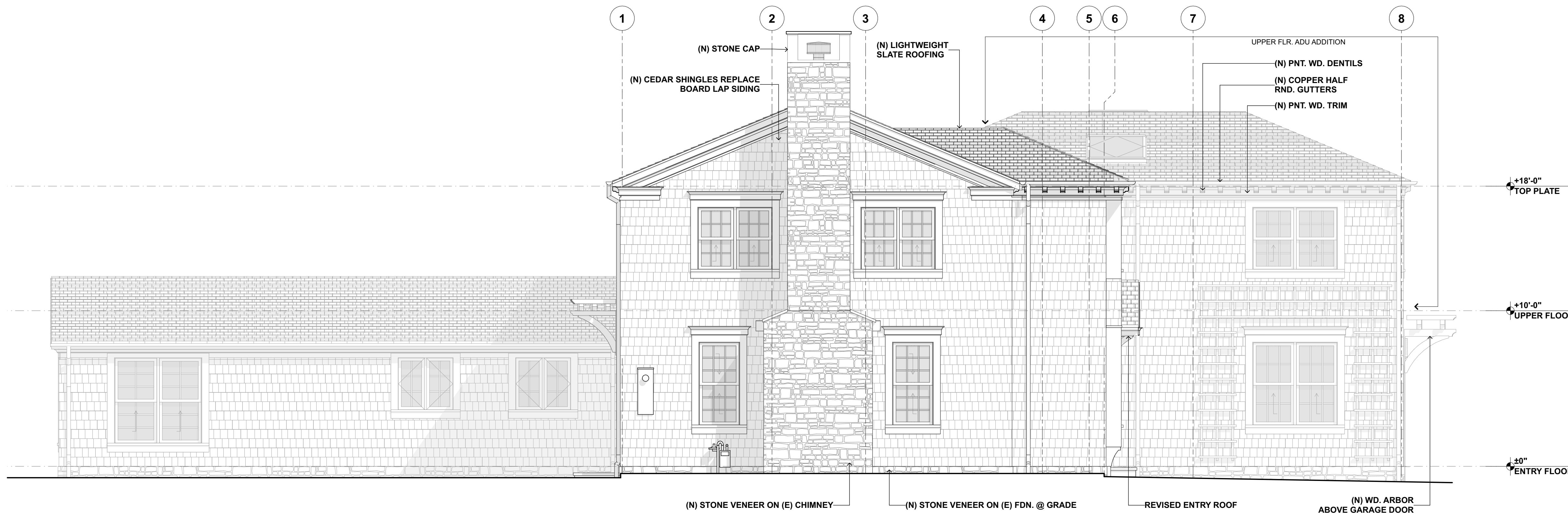
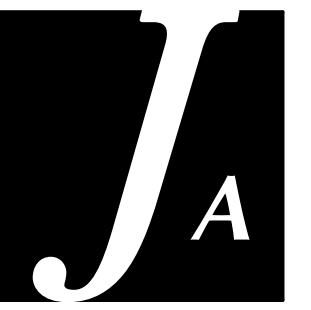


1 (E) WEST ELEVATION
 SCALE: 1/4" = 1'-0"



ELEV. KEY PLAN - UPPER FLOOR

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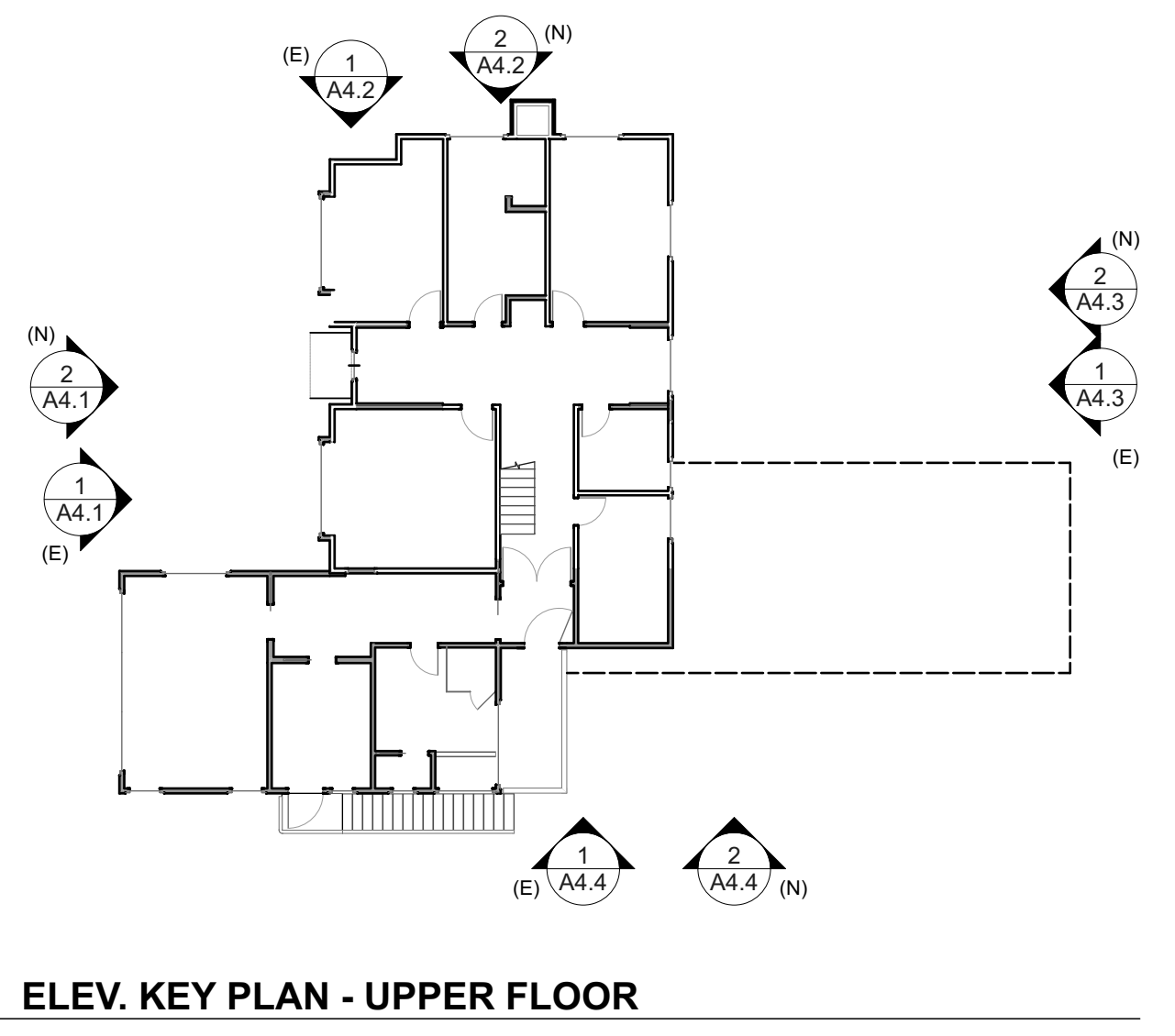
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2 (N) NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



1 (E) NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

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A4.2



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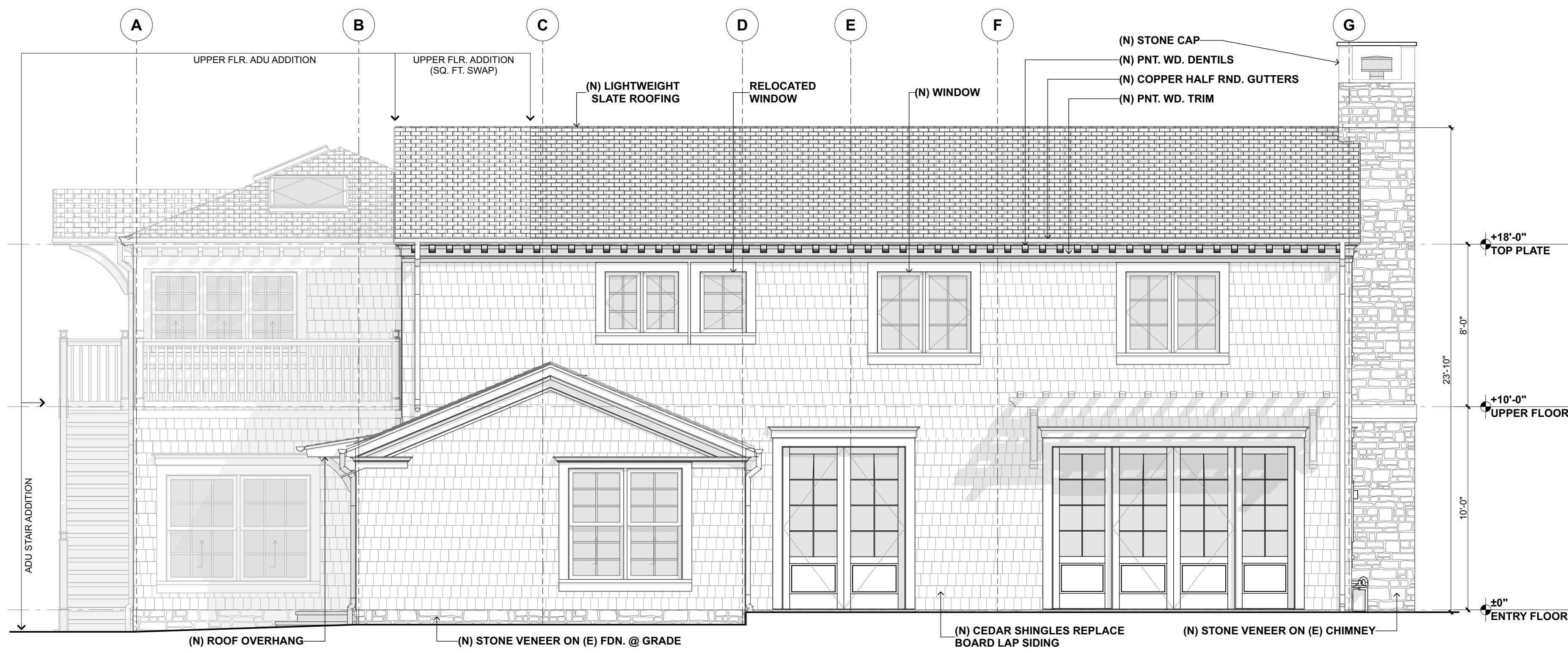
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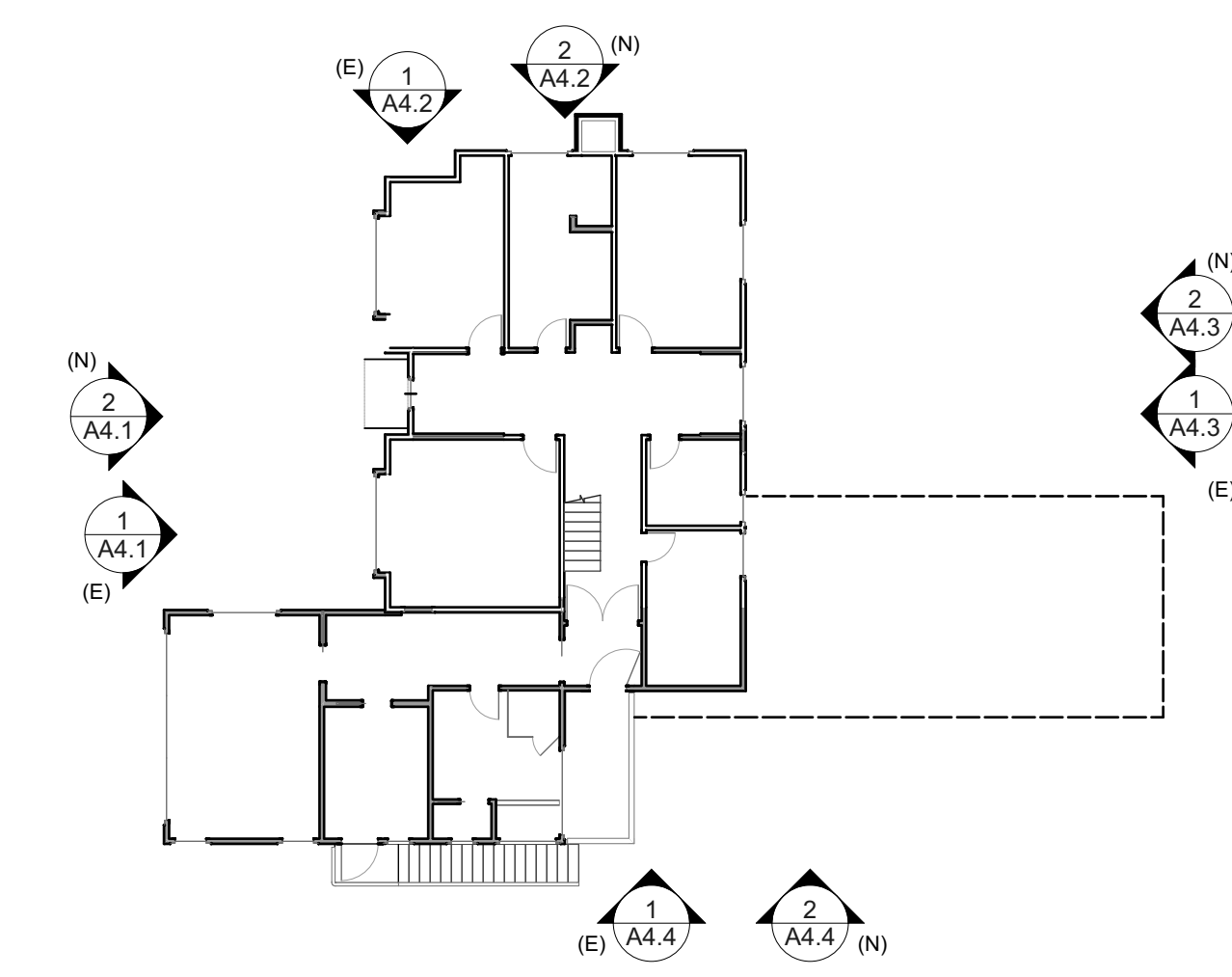
2 (N) EAST ELEVATION
 SCALE: 1/4" = 1'-0"

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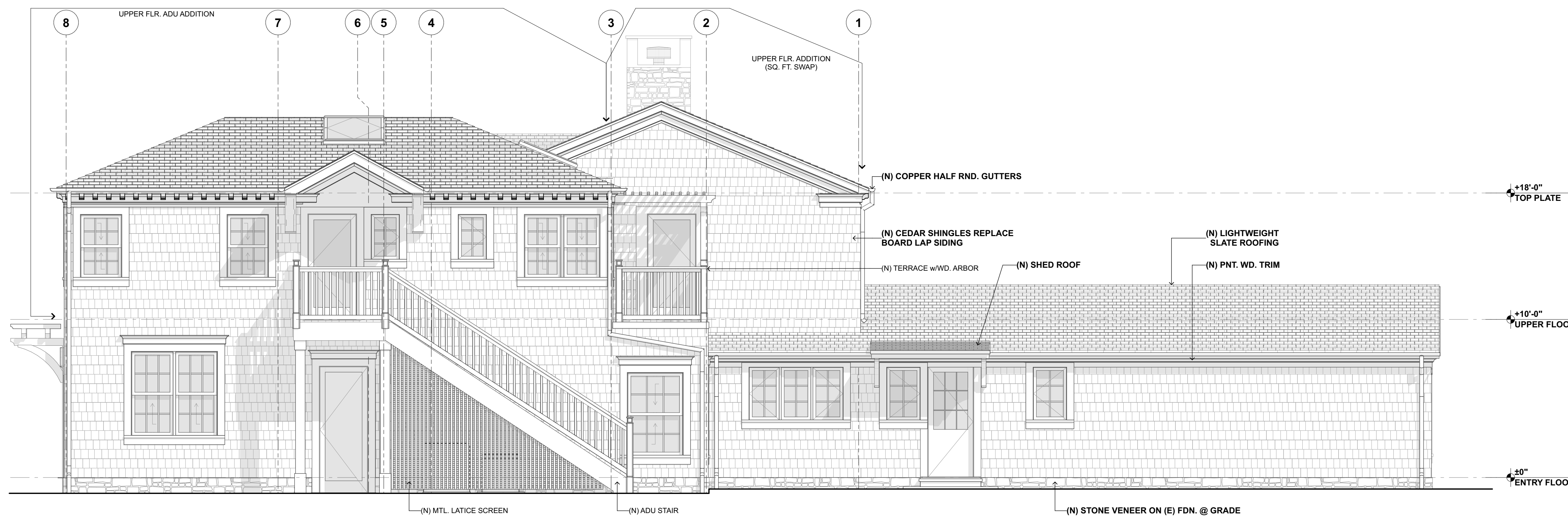


1 (E) EAST ELEVATION
 SCALE: 1/4" = 1'-0"



ELEV. KEY PLAN - UPPER FLOOR

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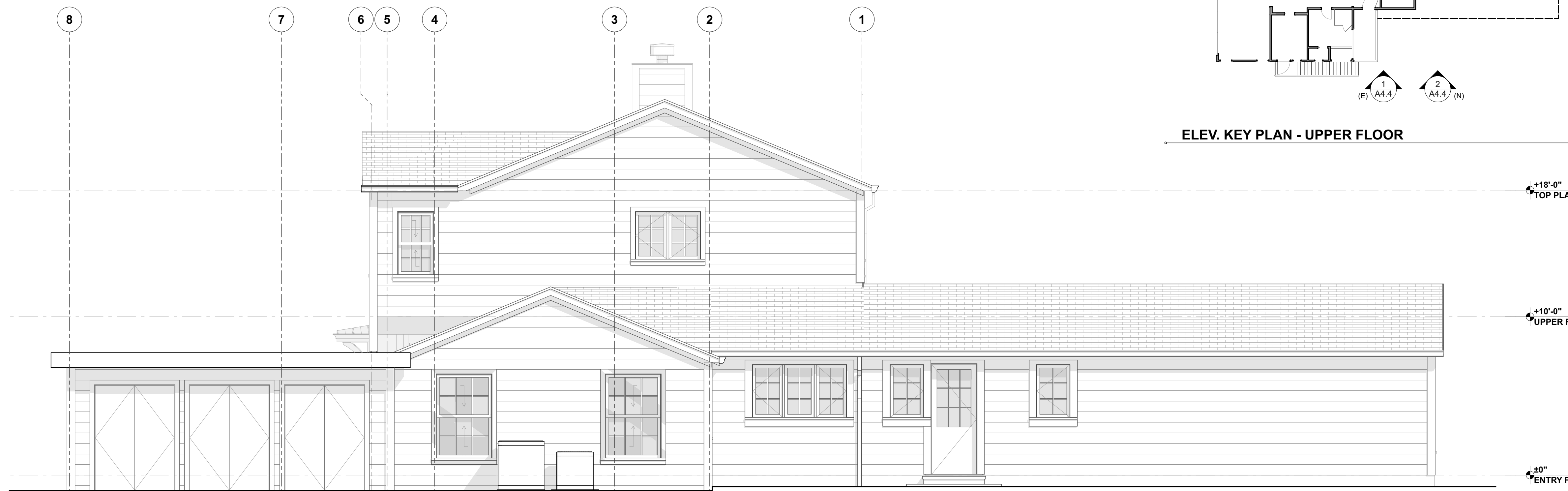
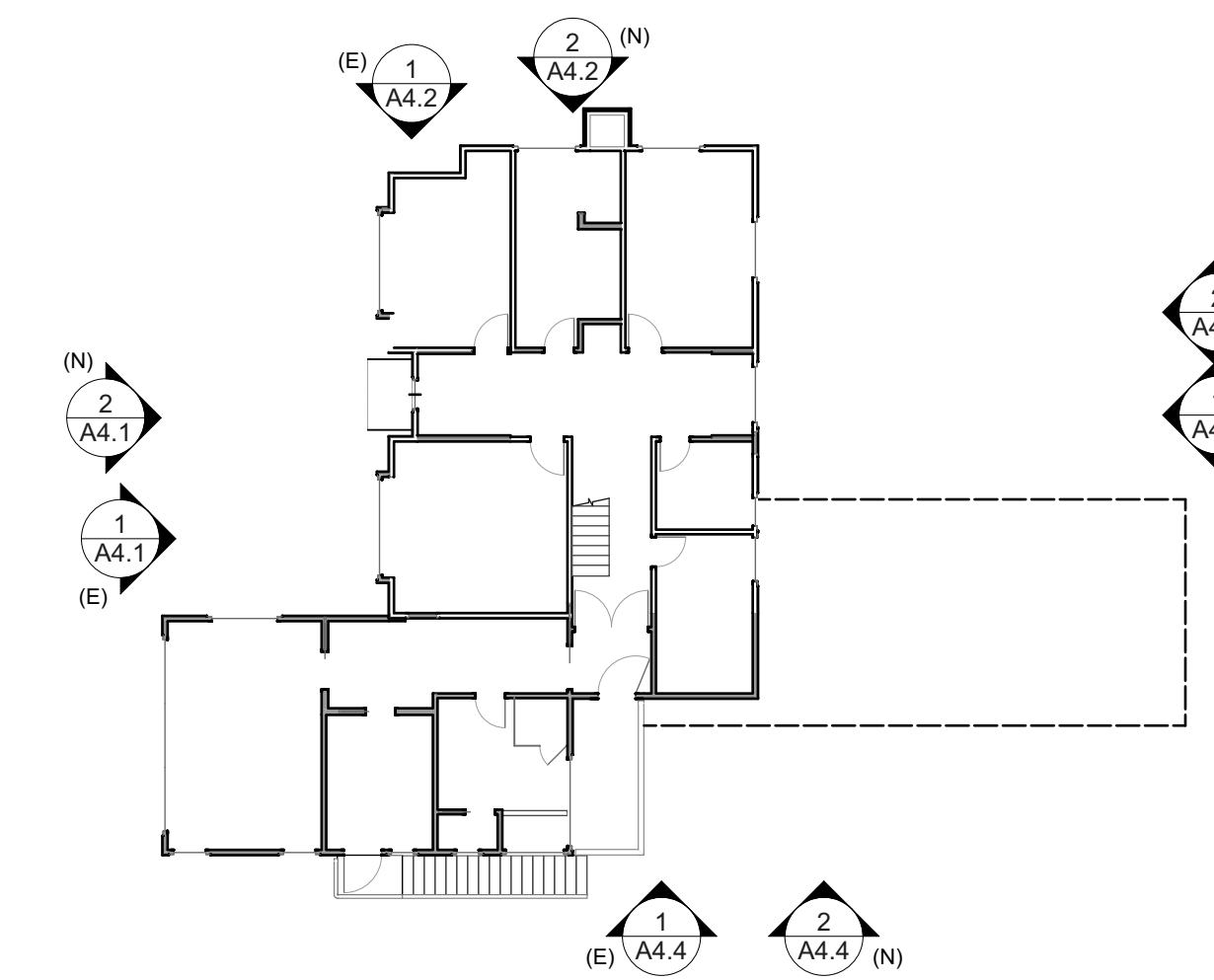


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2 (N) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 (E) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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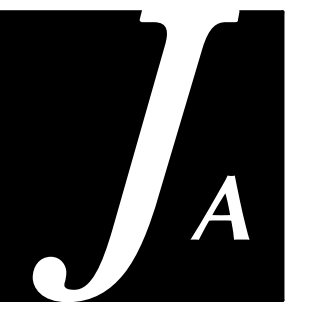
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2 ENTRY PERSPECTIVE

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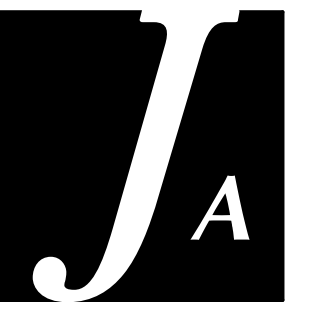
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**EXTERIOR
 PERSPECTIVES**



1 (E) ENTRY PERSPECTIVE

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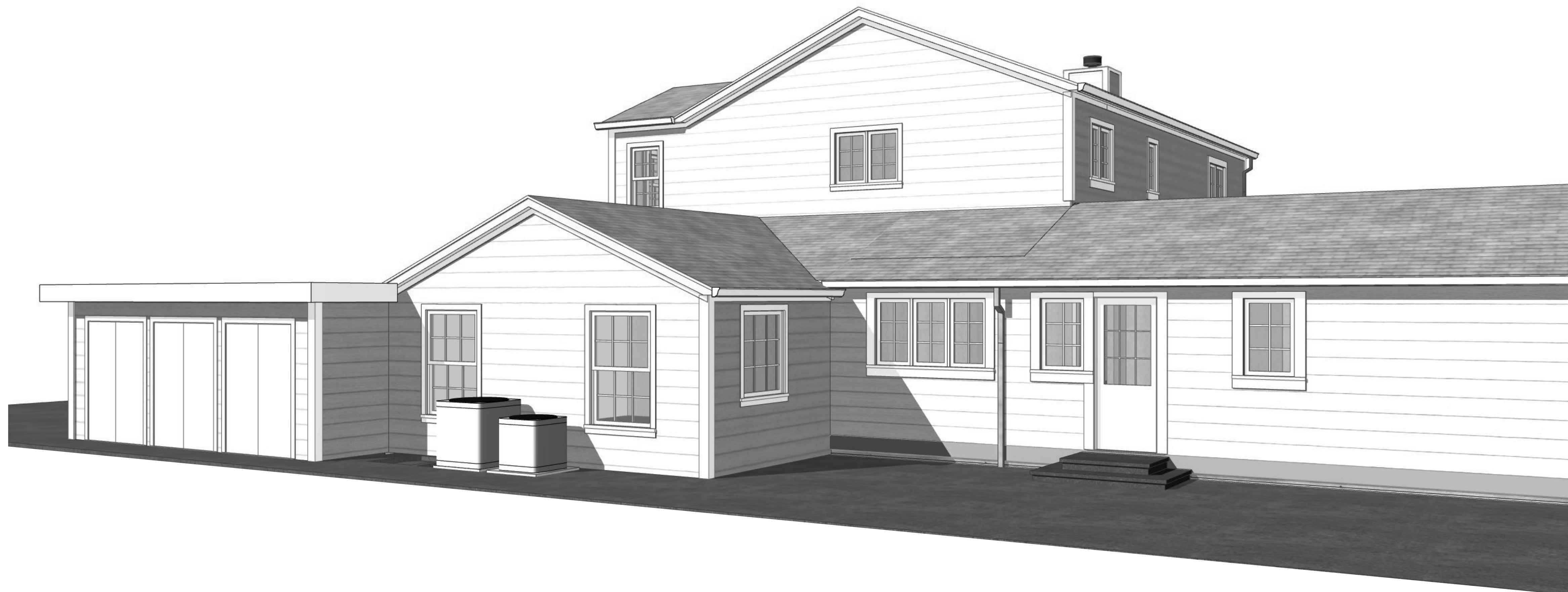
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2 EXTERIOR PERSPECTIVE



1 (E) EXTERIOR PERSPECTIVE



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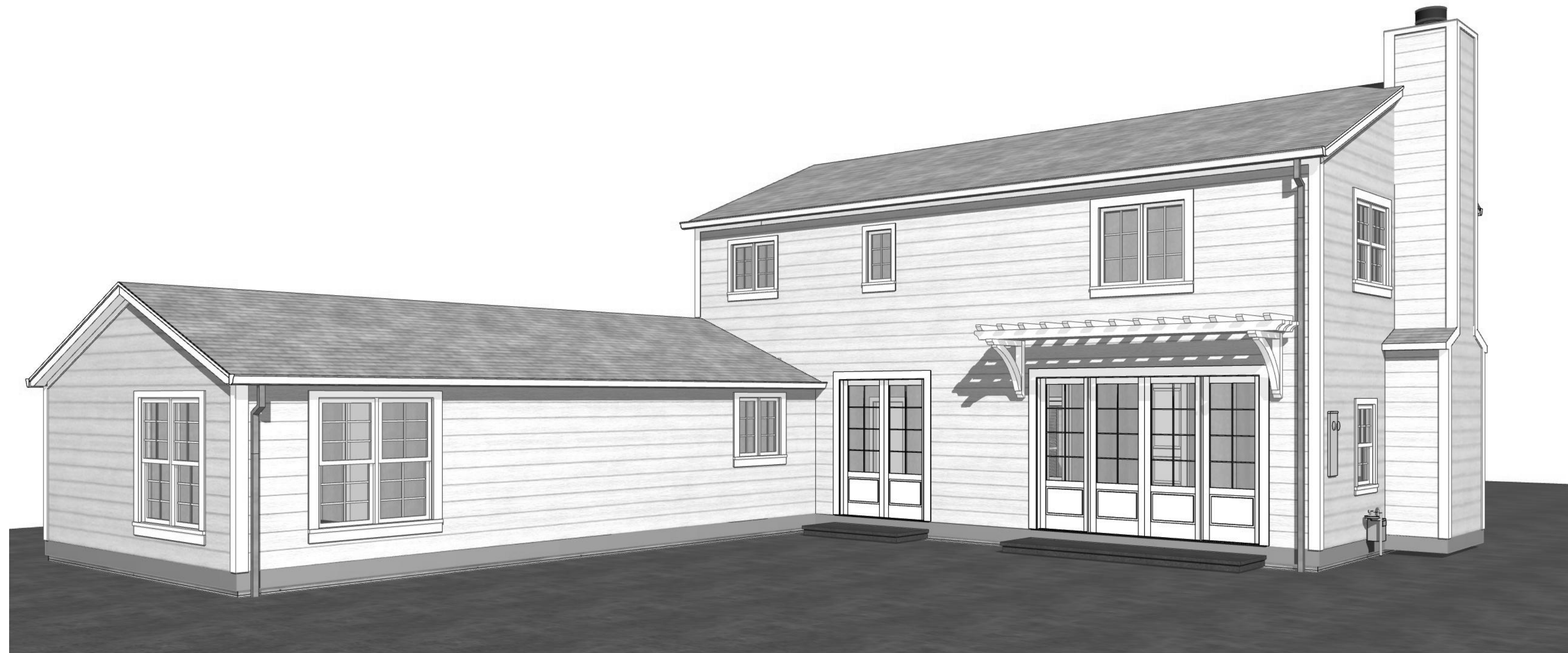
2 REAR EXTERIOR PERSPECTIVE

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**EXTERIOR
 PERSPECTIVES**



1 (E) REAR EXTERIOR PERSPECTIVE

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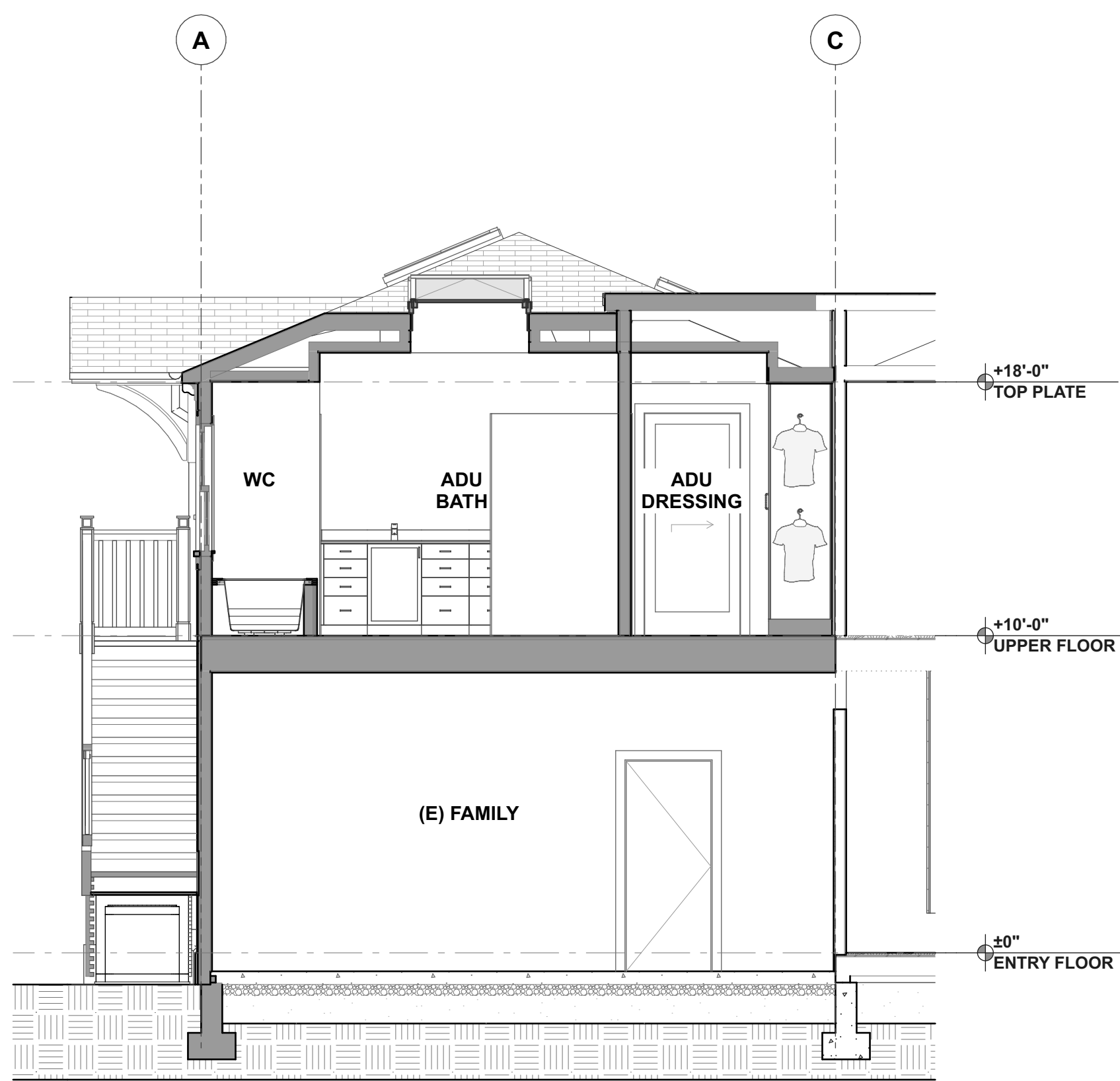
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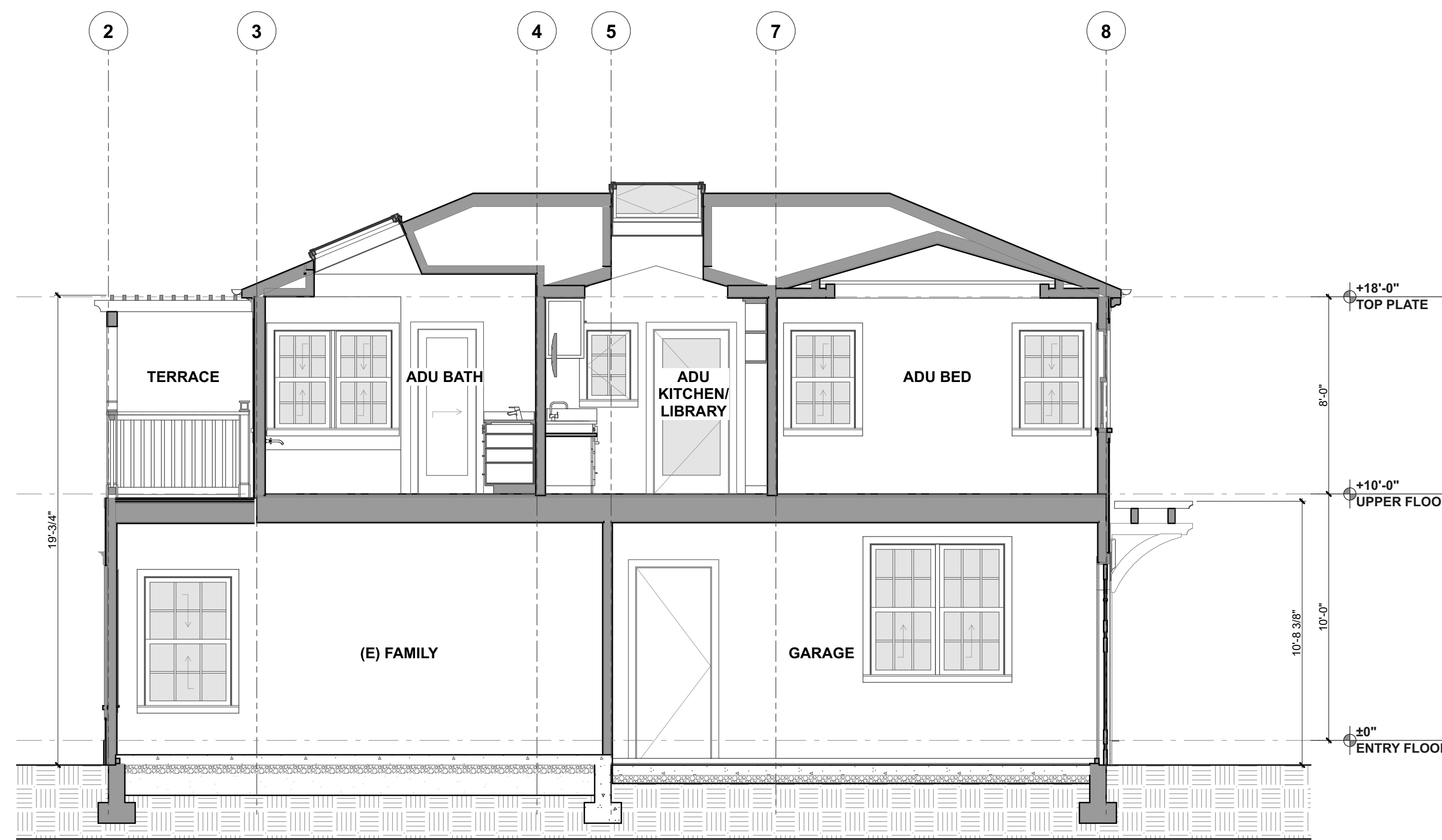
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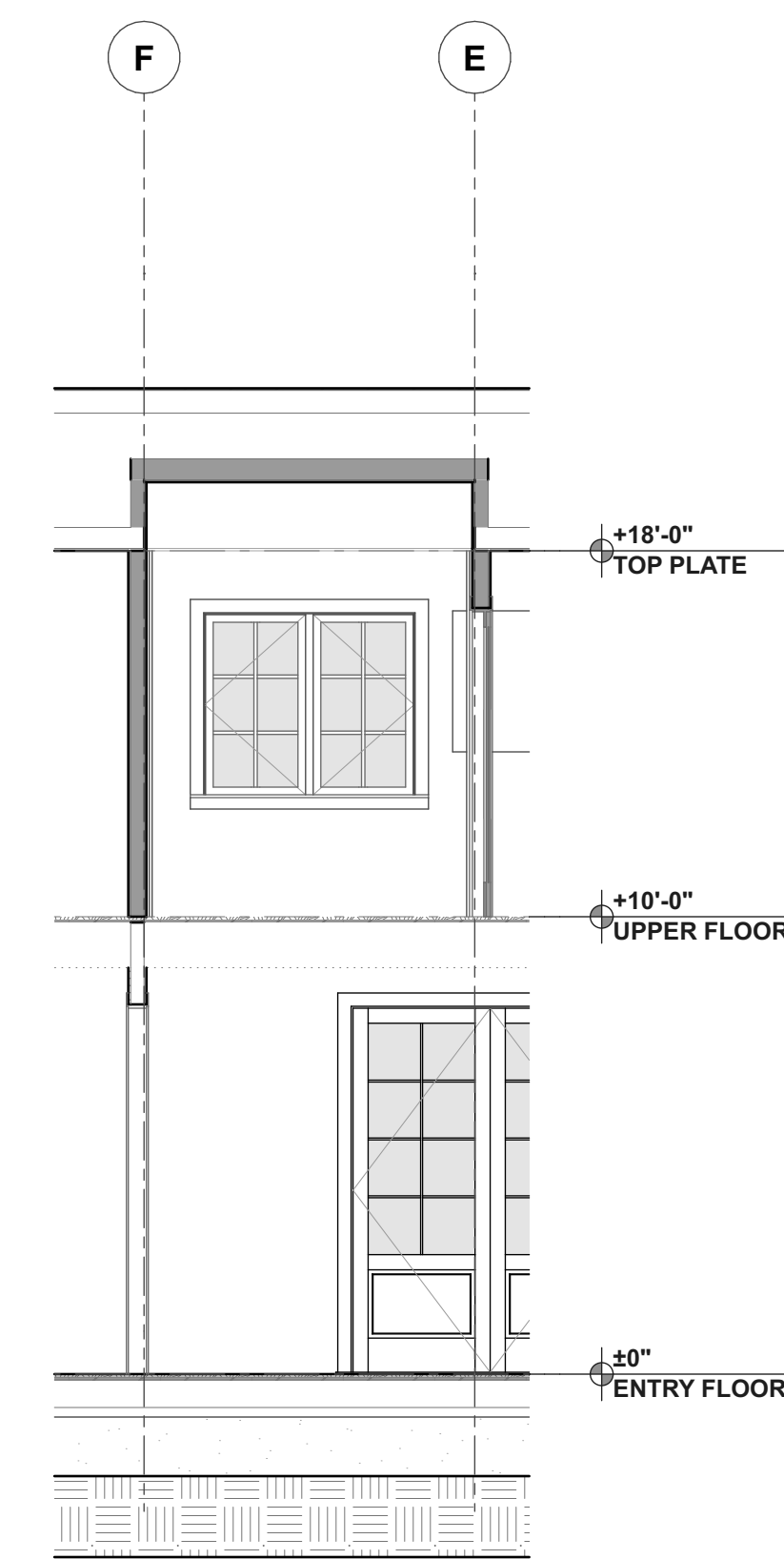
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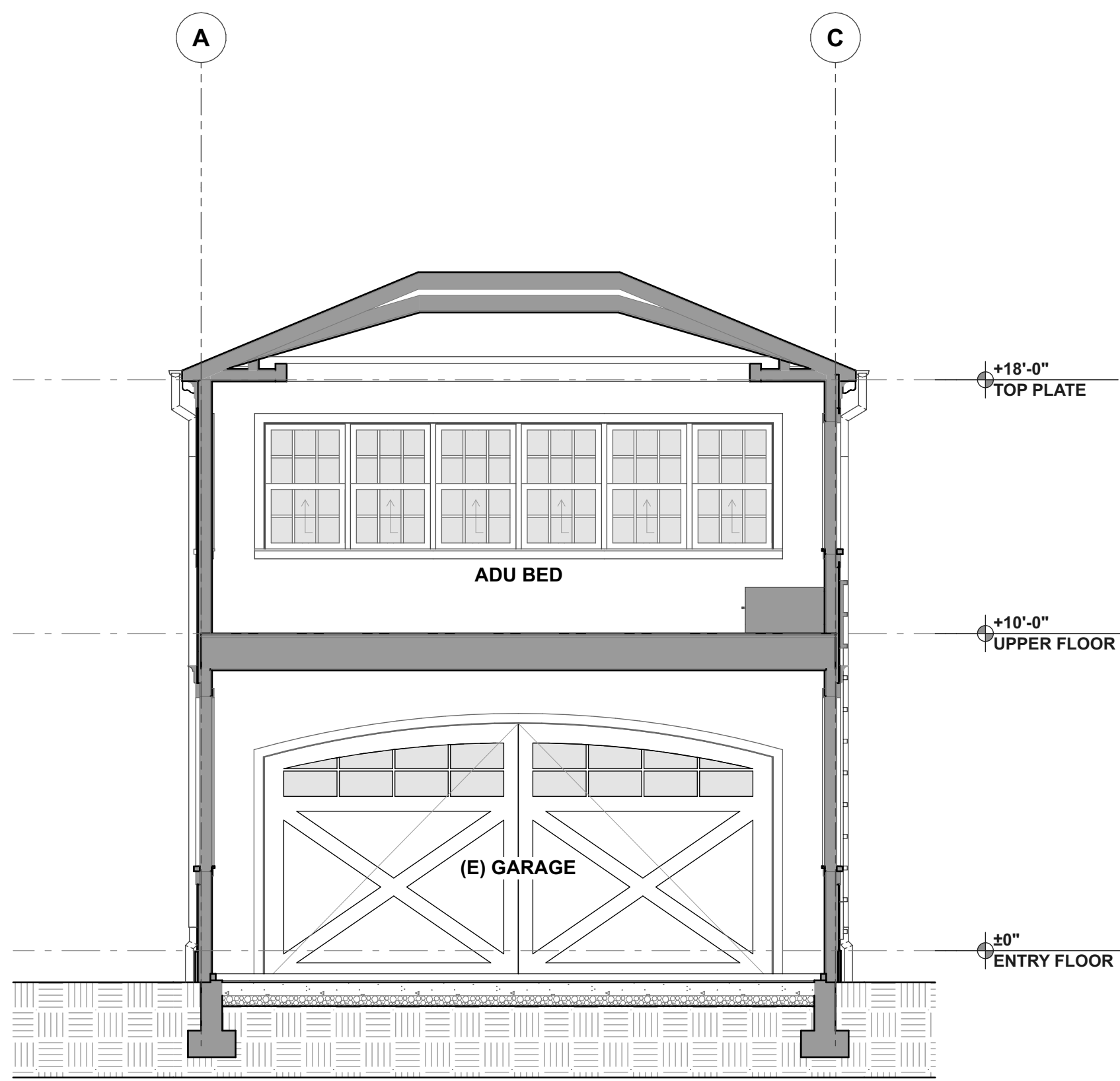
5 SECTION LOOKING WEST @ BATH
 SCALE: 1/4" = 1'-0"



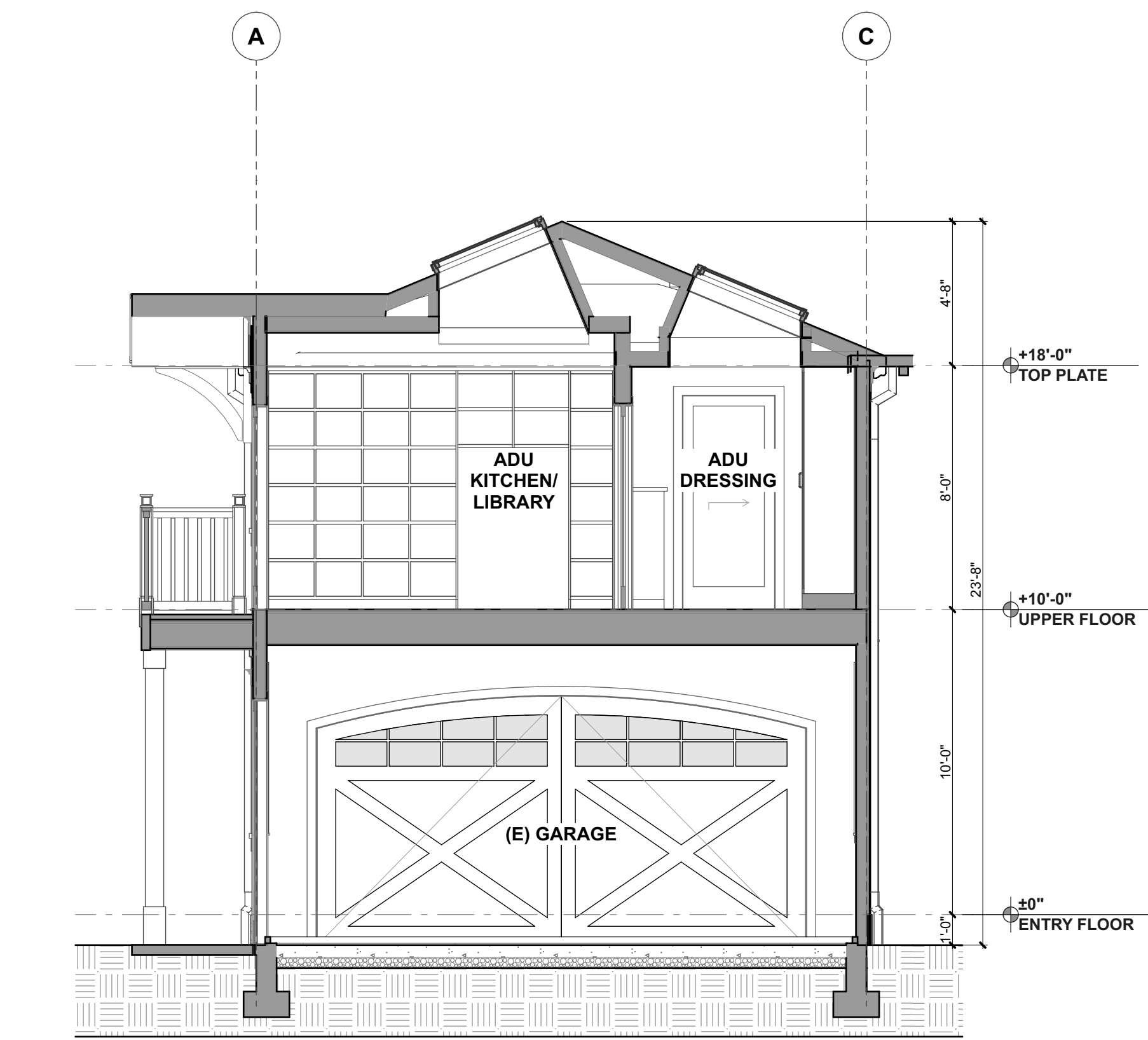
4 SECTION LOOKING SOUTH
 SCALE: 1/4" = 1'-0"



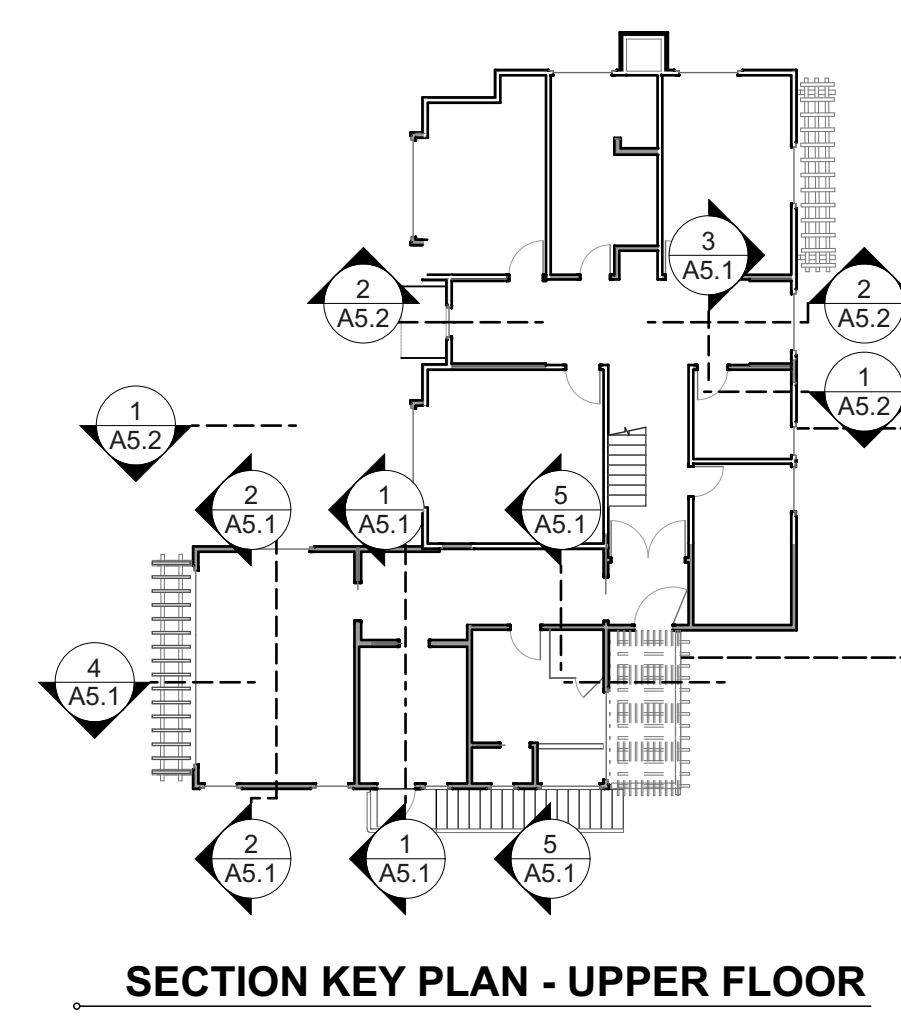
3 N-S SECTION @ UPPER HALL
 SCALE: 1/4" = 1'-0"



2 SECTION LOOKING WEST @ BED
 SCALE: 1/4" = 1'-0"

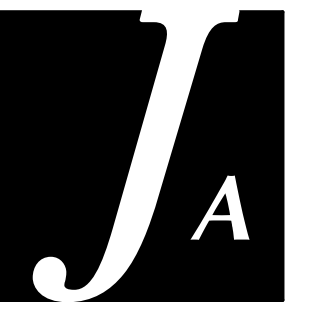


1 SECTION LOOKING WEST @ KITCHEN/LIBRARY
 SCALE: 1/4" = 1'-0"



SECTION KEY PLAN - UPPER FLOOR

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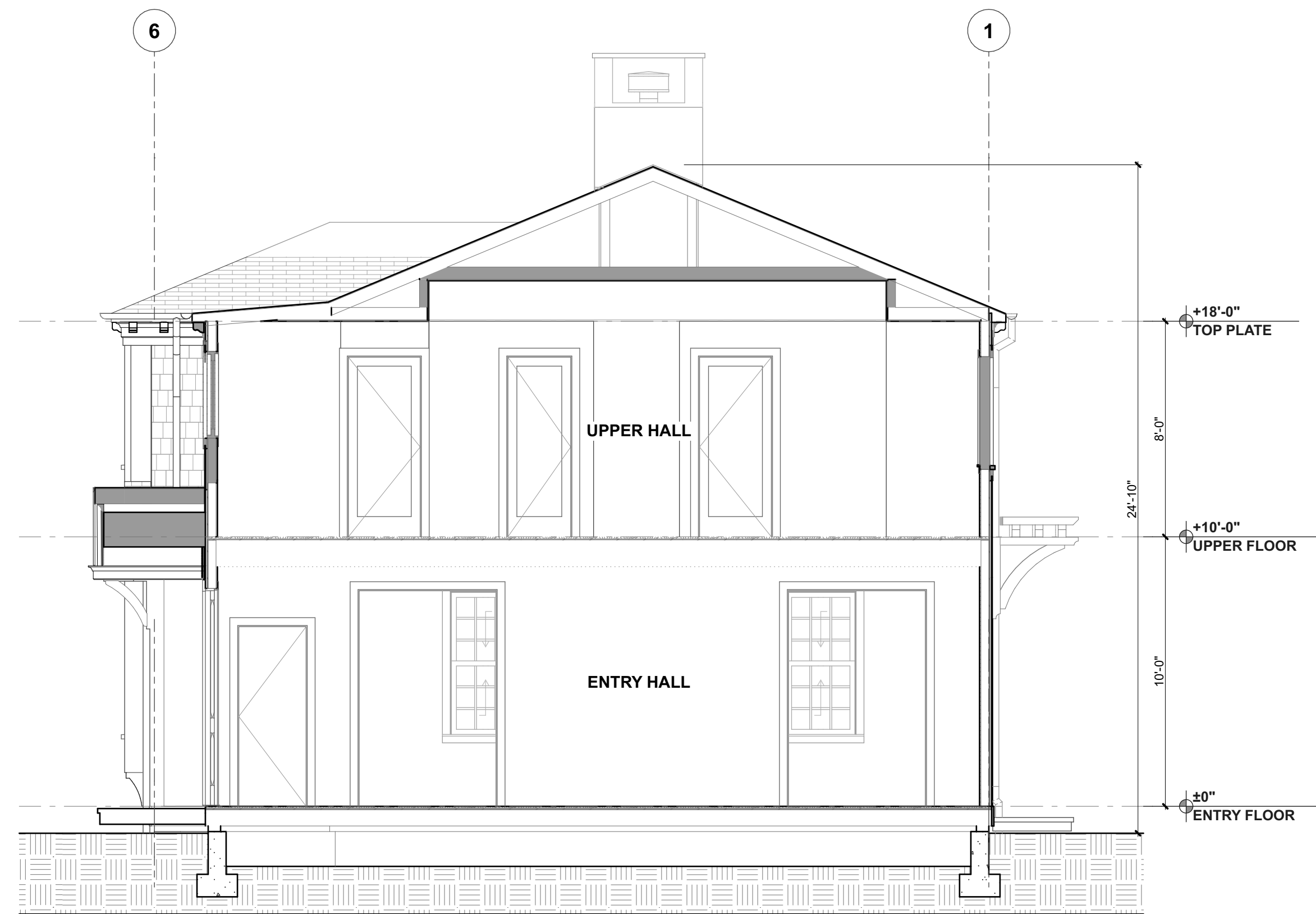
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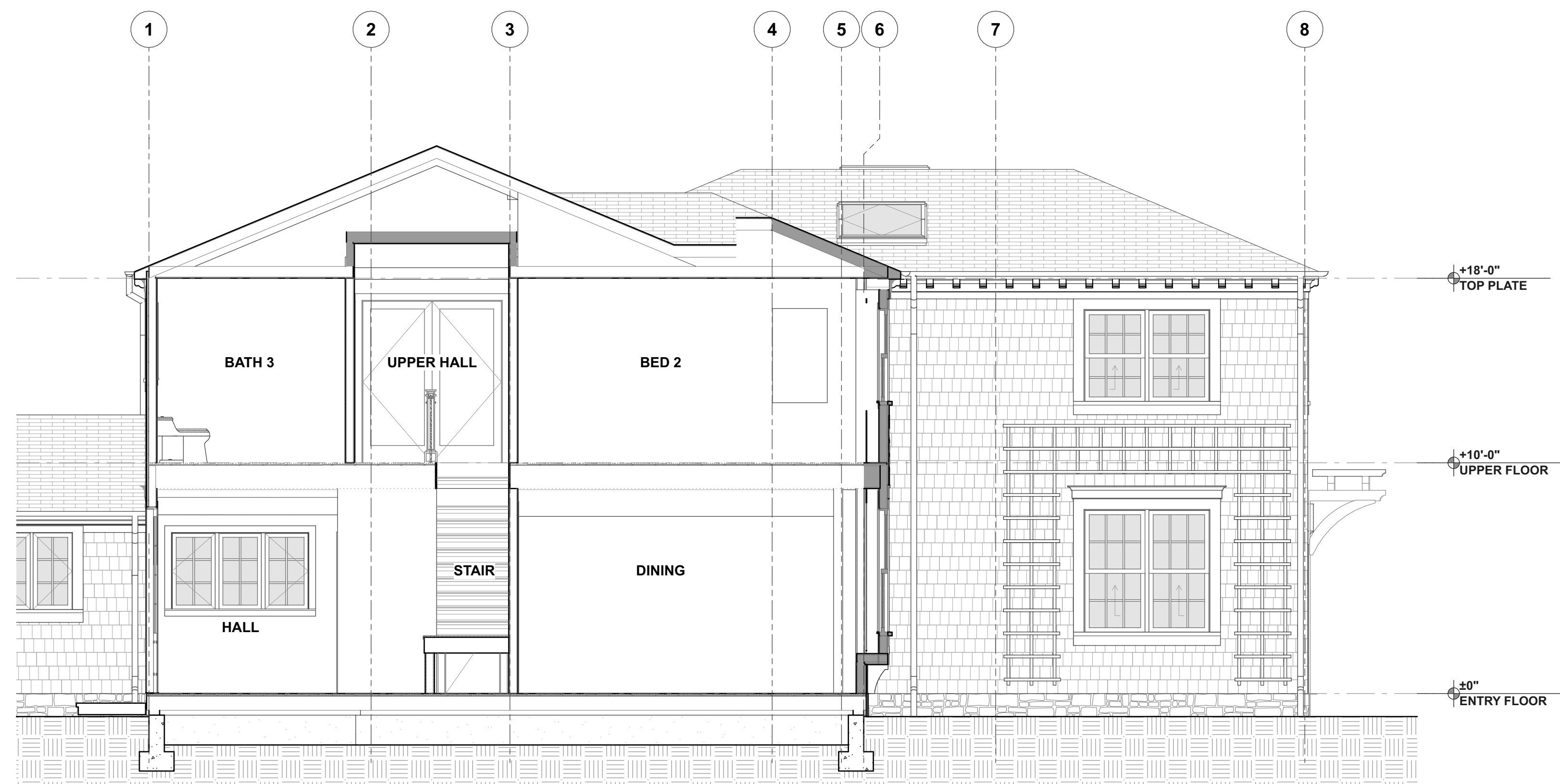
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**BUILDING
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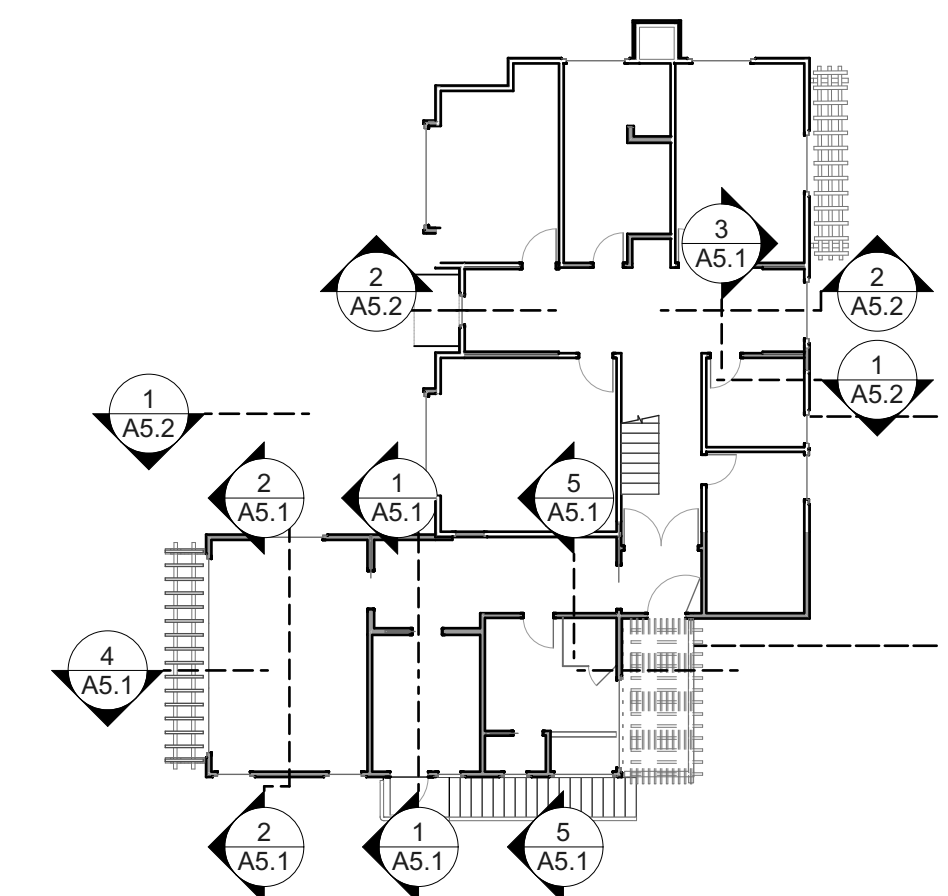
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2 W-E SECTION @ UPPER HALL
 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'



1 E-W SECTION @ BATH 3-UPPER HALL-BATH 3
 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'



SECTION KEY PLAN - UPPER FLOOR

ATTACHMENT 2



Town of Ross
Planning Department
 Post Office Box 320, Ross, CA 94957
 Telephone (415) 453-1453, Ext. 121
 Fax (415) 453-1950 www.townofross.org

PLANNING APPLICATION FORM

Type of Application
(check all that apply):

- | | |
|--|---|
| <input type="checkbox"/> Accessory Dwelling Unit | <input type="checkbox"/> Minor Exception Permit |
| <input type="checkbox"/> Accessory Dwelling Unit Exception | <input type="checkbox"/> Minor Nonconformity Permit |
| <input type="checkbox"/> Appeals | <input type="checkbox"/> Nonconformity Permit |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Tentative Map |
| <input type="checkbox"/> Demolition Permit | <input type="checkbox"/> Tentative Map Amendment |
| <input type="checkbox"/> Design Review | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review- Amendment | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Exceptions for Attics | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Final or Parcel Map | <input type="checkbox"/> Zoning Ordinance Amendment |
| <input type="checkbox"/> General Plan Amendment | |
| <input type="checkbox"/> Hillside Lot Permit | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Junior Accessory Dwelling Unit | |
| <input type="checkbox"/> Lot Line Adjustment | |

To Be Completed by Applicant:

Assessor's Parcel No(s): _____

Project Address: _____

Property Owner: _____

Owner Mailing Address (PO Box in Ross): _____

City/State/Zip: _____ Owner's Phone: _____

Owner's Email: _____

Applicant: _____

Applicant Mailing Address: _____

City/State/Zip: _____ Applicant's Phone: _____

Applicant's Email: _____

Primary point of Contact Email: Owner Buyer Agent Architect

To Be Completed by Town Staff:

Date Received: _____

Application No.: _____

Zoning: _____

Date paid: _____ TOTAL FEES: _____

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SUBDIVISION INFORMATION ONLY

Number of Lots: _____

LOT LINE ADJUSTMENT ONLY

Describe the Proposed Lot Line Adjustment: _____

Existing Parcel Size(s) Parcel 1: _____ Parcel 2: _____

Adjusted Parcel Size(s) Parcel 1: _____ Parcel 2: _____

PARCEL ONE

PARCEL 2

Owners Signature: _____ Owner's Signature: _____

Date: _____ Date: _____

Owner's Name (Please Print): _____ Owner's Name (Please Print): _____

Assessor's Parcel Number: _____ Assessor's Parcel Number: _____

* If there are more than two affected property owners, please attach separate letters of authorization.

REZONING OR TEXT AMENDMENT ONLY

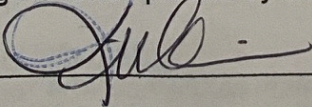
The applicant wishes to amend Section _____ of the Ross Municipal Code Title 18. The applicant wishes to Rezone parcel _____ from the _____ Zoning District to _____.

GENERAL OR SPECIFIC PLAN AMENDMENT ONLY

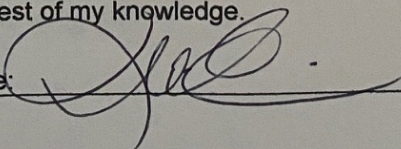
Please describe the proposed amendment: _____

CERTIFICATION AND SIGNATURES

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

Owner's Signature:  Date: 4/8/24

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge.

Owner's Signature:  Date: 4/8/24

SIGNATURE:

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

_____, California on _____



Signature of Property Owner(s)

and



Applicant(s) Signature of Plan Preparer

Notice of Ordinance/Plan Modifications

- Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Consultant Information

The following information is required for all project consultants.

Landscape Architect

Firm _____
Project Landscape Architect _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Civil/ Geotechnical Engineer

Firm _____
Project Engineer _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Arborist

Firm _____
Project Arborist _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Mandatory Findings for Variance Applications

In order for a variance to be granted, the following mandatory findings must be made:

Special Circumstances

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe the special circumstances that prevent conformance to pertinent zoning regulations.**

Substantial Property Rights

That the variance is necessary for the preservation and enjoyment of substantial property rights. **Describe why the project is needed to enjoy substantial property rights.**

Public Welfare

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**

Neighborhood Outreach – *Shall be conducted for all discretionary planning projects.*

A neighborhood outreach description shall be prepared by the applicant. The description shall include how neighborhood outreach was conducted, dates neighbors were contacted, any meetings held, the specific concerns of neighbors and how those concerns were mediated (through changes to the proposal, site visits, etc.).

Neighborhood Outreach for (insert project address)				
NAME	ADDRESS	DATE CONTACTED	CONCERNS (IF ANY)	RESOLUTION

CURRENTLY COLLECTING



9 Thomas Court Neighborhood Outreach

7 Thomas Court – Joey Buckingham. Joey is aware and no objections.

8 Thomas Court – Spoke with occupants son, Paul, as she is bedridden. He said he is supportive and his mother would have no objections.

10 Thomas Court – Spoke with Steve and Kathryn Hohenrieder and they did not express any objections.

18 Madrona – Spoke with the Bergs. They are aware of the project and have no objections.

16 Madrona. Spoke with Tony Rose. He is aware of the project and has no objections.

153 Lagunitas. Have tried to speak with them a couple of times but no luck. They cannot see our house at all as the only contiguous lot line is in the rear western corner of their lot with many large trees that provide screen/privacy.