



Staff Report

Date: December 12, 2024
To: Mayor Kircher and Council Members
From: Alex Lopez-Vega, Assistant Planner
Subject: Sher Residence, 40 Upper Road

Recommendation

Town Council consideration for Design Review, and a Hillside Lot Permit for the project described below located at 40 Upper Road. The Town Council may adopt Resolution No. 2441 (Attachment 1) approving the project, subject to conditions.

Property Address: 40 Upper Road
A.P.N.: 073-071-08
Applicant: Hsiaochien Chuang
Property Owner: Pamela Sher
Zoning: R-1:B-A
General Plan: VL (Very Low Density)
Flood Zone: X (Moderate to Low)

Project Data

	Code Standard	Existing	Proposed
Lot Area	1 Acres	87,648 SF	No change
Floor Area (FAR)	15%	6,369 SF (7%)	No Change
Building Coverage	15%	3,765 SF (4%)	No Change
Front side Setback	25'	House- No change	House- No change Pool- 84'

	Code Standard	Existing	Proposed
Rear Side Setback	70'	House- No Change	House No Change Pool- 196'
South Side Setback	45'	House- No change	House – No Change Pool- 150' 1"
Impervious Surface Coverage	Minimize and/or mitigate for any increase.	4,625 SF	7,028 SF

Project Description:

The applicant requests approval for Design Review, and a Hillside Lot Permit. The project proposes rehabilitating the existing side yard landscaping to include a new infinity swimming pool measuring 17' x 45', a wood deck, pool equipment enclosure, terraced patios and stairs, site grading and retaining walls measuring up to 6 feet, plantings for screening, and downward and shielded exterior step lighting fixtures.

Impervious Surfaces

The project proposes Impervious surface increase by 2,403 square-feet, new coverage would be mitigated by adding a new 172 square foot bioretention area for stormwater control, resulting in no net-runoff.

Project plans are included as **Attachment 2**; Project Application and Materials are included as **Attachment 3**.

The proposed project is subject to the following permit approval:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** to allow for a project resulting in more than 50 cubic yards of grading or filling; a project resulting in over 1,000 square feet of new impervious landscape surface; and redevelopment, rehabilitation, and/or renovation of existing landscape over 2,500 square feet.
- **Hillside Permit is required for lots with a slope of 30 percent or more, pursuant to RMC Section 18.39.020.**

Background

The project site is an 87,648 square-foot lot on Upper Road. The owner also owns the adjacent lot (APN 073-071-08) to the south side of the property and is currently in the process of merging both lots. The property is home to an extensive collection of trees and mature vegetation.

Advisory Design Review

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions for Attics, a Hillside Lot Permit, and/or a Variance.

On November 19, 2024, with a vote of 4-0-1, the Advisory Design Review (ADR) group expressed their support for the project's design with minor modifications. These include additional details for the pool equipment enclosure, and pool fencing/guardrails. The ADR acknowledged and supported the revisions made since the last two meetings (May 21, 2024 and August 20, 2024) including the merging of both lots and reduction of retaining wall heights to under 6 feet to avoid the request for a Variance. The ADR group recommends that the project is consistent with the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100, and, therefore, recommended approval of Design Review.

Draft minutes of the November 19, 2024, ADR meeting are included as **Attachment 4**.

Discussion

The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code (RMC):

Design Review

Design Review is intended to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town's neighborhoods; and preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

The Town Council may approve, conditionally approve or deny an application for design review. The Town Council shall include conditions necessary to meet the purpose of Design Review pursuant to Chapter 18.41 and for substantial compliance with the criteria set forth in this chapter. If Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. (Section 18.41.070 (b) (1))
- The project is in substantial compliance with the design criteria of Section 18.41.100.

(Section 18.41.070 (b) (2))

- The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.41.070 (b) (3))

Staff recommends approval of Design Review, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution.

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies, and criteria of the Ross General Plan. The project proposes materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Exterior lighting is shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. Landscaping protects privacy between properties, all proposed lighting is down lit with covered bulbs. The post-project stormwater runoff rates from the site would be no greater than pre-project rates.

Hillside Lot Permit

Hillside areas are defined as parcels which have a slope of thirty percent or greater or are wholly or partially within Hazard Zones 3 or 4 as identified on the Town slope stability map. The purpose of Hillside designation includes: preserve significant features of the natural environment including watersheds, watercourses, canyons, knolls, ridgelines and rock outcroppings and minimize disturbance to the natural terrain; protect steep slopes, creeks, significant native vegetation, wildlife and other environmental resources; ensure that development will not create or increase fire, flood, slide or other hazards to public health and safety; protect the public health, safety and general welfare and the property of people in the vicinity of steep hillside building sites; and reduce the visual impacts of construction on hillsides and encourage building designs compatible with hillside areas.

Pursuant to Section 18.39.20 (b), the proposed project requires a Hillside Lot Permit for the construction of any retaining wall greater than 48" in height.

Staff recommends approval of the Hillside Lot Permit as summarized below and by the findings in Exhibit "A".

The proposed project protects and preserves public and private open space; significant features of the natural environment, includes steep slopes, creeks, significant native vegetation, and wildlife; and other environmental resources. Development is limited to a level consistent with available public services and road access that can be reasonably provided to and within the parcel. Development will not create or increase fire, flood, slide or other hazards to public health

and safety. Design is well articulated to minimize the appearance of bulk. Materials and colors are of subdued tones and blend with the natural landscape. Development minimizes the obstruction of views from surrounding properties and public vantage points, with particular care taken to protect primary views. Consistent with Chapter 18.48, the findings are recommended to support the approval of the requested landscape structures as proposed.

Fiscal, Resource and Timeline Impacts

If approved, the project would be subject to one-time fees for a building permit and impact fees if applicable, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impact associated with the project.

Alternative actions

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

Environmental Review

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA), Section 15303 (New Construction or Conversion of Small Structures), consisting of the construction of accessory structures including a swimming pool, and Section 15304 (Minor Alterations to Land), consisting of new gardening and landscaping, including walls, fences, and walkways, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

Public Comment

Public Notices were mailed to property owners within 500 feet of the project site 10 days prior to the meeting date, and no comments were received at the time of writing this report.

Attachments

1. Resolution No. 2441
2. Project Plans
3. Project Application and Materials
4. Draft ADR Meeting Minutes, November 19, 2024

ATTACHMENT 1

TOWN OF ROSS

RESOLUTION NO. 2441

RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW, AND A HILLSIDE LOT PERMIT TO REHABILITATE THE EXISTING LANDSCAPE TO INCLUDE A NEW SWIMMING POOL, WOOD DECK, POOL EQUIPMENT ENCLOSURE, TERRACED PATIOS AND STAIRS, AND RETAINING WALLS AT 40 UPPER ROAD A.P.N. 073-071-08

WHEREAS, the applicant, Hsiaochien Chuang, on behalf of property owners, Pamela Sher, submitted an application requesting approval of Design Review, and a Hillside Lot Permit to renovate the existing landscaping to include a new infinity swimming pool measuring 17' x 45', a wood deck, pool equipment enclosure, terraced patios and stairs, retaining walls measuring up to 6 feet, plantings for screening, and downward and shielded exterior lighting fixtures at 40 Upper Road APN 073-071-08 (herein referred to as "the Project"); and

WHEREAS, the Project is determined to be exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA), Section 15303 (New Construction or Conversion of Small Structures), consisting of the construction of accessory structures including a swimming pool, and Section 15304 (Minor Alterations to Land), consisting of new gardening and landscaping, including walls, fences, and walkways, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination; and

WHEREAS, on December 12, 2024, the Town Council held a duly noticed public hearing to consider the Project; and

WHEREAS, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

NOW, THEREFORE, BE IT RESOLVED the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit "A", and approves Design Review, and a Hillside Lot Permit to approve the Project, subject to the Conditions of Approval attached as Exhibit "B".

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 12th day of December 2024, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

Cyndie Martel, Town Clerk

C. William Kircher, Mayor

EXHIBIT "A"
FINDINGS
40 Upper Road
A.P.N. 073-071-08

A. Findings

I. In accordance with Ross Municipal Code (RMC) Section 18.41.070, Design Review is approved based on the following mandatory findings:

a) The project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010.

As recommended by the Advisory Design Review (ADR) Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," provides very low-density character and identity that is unique to the Town of Ross; enhances the area in which the Project is located; and promotes and implements the design goals, policies and criteria of the Ross General Plan.

b) The project is in substantial compliance with the design criteria of RMC Section 18.41.100.

As recommended by the Advisory Design Review (ADR) Group, the Project is in substantial compliance with the design criteria of RMC Section 18.41.100. The site would be kept in harmony with the general appearance of neighboring landscape. Lot coverage and building footprints would be minimized, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. Landscaping would be integrated into the architectural scheme to accent and enhance the appearance of the development, including attractive, fire-resistant, native species and replacement trees for trees removed by development. Landscaping would create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire. The Project would maximize permeability and reduce impervious surface coverage on the property, by adding a bioretention area, so that the post-development stormwater runoff rates from the site would result in no net increase.

c) The project is consistent with the Ross General Plan and zoning ordinance.

The Project is consistent with the allowed uses and general development standards associated with the Medium Low-Density land use designation of the General Plan, the Single-Family Residence and Special Building Site zoning regulations, therefore the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

II. In accordance with Ross Municipal Code Section 18.39.060, Hillside Lot Permit is approved based on the following mandatory findings:

(1). The project complies with the stated purposes of Chapter 18.39.

The proposed project protects and preserves public and private open space; significant features of the natural environment; includes steep slopes, creeks, significant native vegetation, and wildlife; and other environmental resources. Development is limited to a level consistent with available public services and road access that can be reasonably provided to and within the parcel. Development will not create or increase fire, flood, slide or other hazards to public health and safety.

(2). The project complies with the development regulations of Section 18.39.090, or that the Town Council has considered and approved a variance.

Graded slopes do not exceed 2:1. Development adheres to the wildland urban interface building standards within the California Building Standards Code. The project would produce no net increase in peak runoff from the site compared to pre-project conditions.

(3). The project substantially conforms to the hillside development guidelines in Section 18.39.090.

Architectural design complements the form of the natural landscape. Design is well-articulated to minimize the appearance of bulk. Materials and colors are of subdued tones to blend with the natural landscape. The new swimming pool and retaining walls are consistent with the hillside development guidelines, meeting setbacks and resulting in retaining walls that are a maximum of 6-feet in height.

EXHIBIT "B"
CONDITIONS OF APPROVAL
40 Upper Road
A.P.N. 073-071-08

1. The building permit shall substantially conform to the plans entitled, "Sher Residence" dated 11-19-24 and reviewed and approved by the Town Council on 12-12-24, including pool equipment enclosure, and pool fencing and guardrails.
2. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
3. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period. The Town Planner may administratively approve an amendment to town council approved plans that the town planner determines to be in substantial conformity with the approved plans or minor or incidental in nature and consistent with the intent and criteria of this chapter and with zoning ordinance regulations.
4. The Project shall comply with the Fire Code and all requirements of the Ross Valley Fire Department (RVFD).
5. The applicant shall procure the necessary review/approval of the following items, which are required prior to issuance of a building permit. Evidence of compliance (compliance letter, etc.) shall be submitted to the Planning Department as part of the building permit review process:
 - a. All landscape and irrigation plans must be designed in accordance with the most current Marin Municipal Water District (MMWD) landscape requirements. Prior to providing water service for new landscape areas, or improved or modified landscape areas, MMWD must review and approve the landscape plans for planting and irrigation systems. Contact MMWD at plancheck@marinwater.org for more information.
 - b. New construction and rehabilitation (renovations or changes made to sites with an existing irrigation system) landscape projects will be affected by these requirements if the altered landscape area is greater than 500 square feet.
 - c. Installation of a gray water recycling system is required for all projects that require installation of new water service and existing structures undergoing "substantial

remodel” that necessitates an enlarged water service in compliance with MMWD Ordinance No. 429.

6. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
7. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
8. A Tree Permit shall not be issued until the project grading or building permit is issued.
9. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
 - a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
 - b. A registered Architect or Engineer’s stamp and signature must be placed on all plan pages.
 - c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
 - d. The applicant shall submit an erosion control plan with the building permit application for review by the building staff and/or the Director of Public Works. The Plan shall include a signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a “back-up” system (i.e., temporary seeding and mulching or straw matting).
 - e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Planning and Building Director and/or Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the

completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.

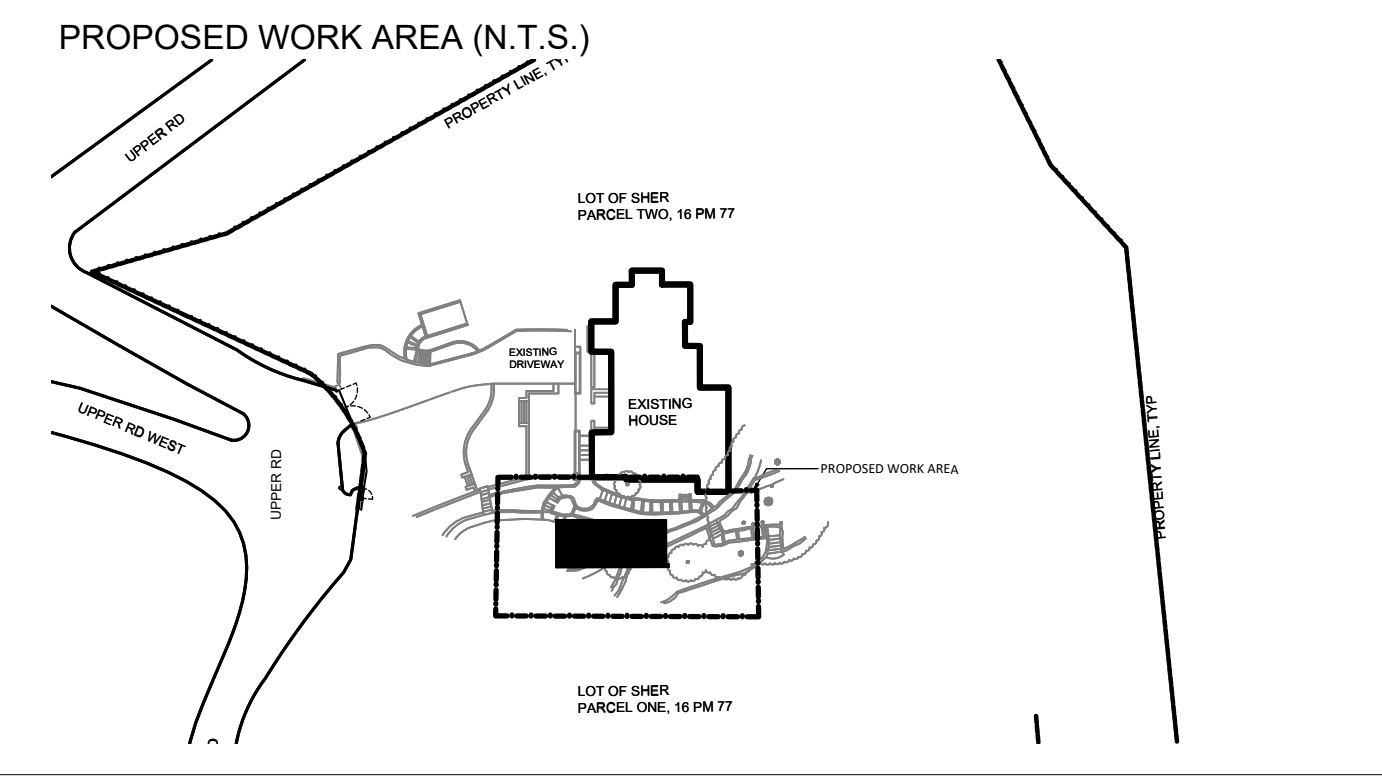
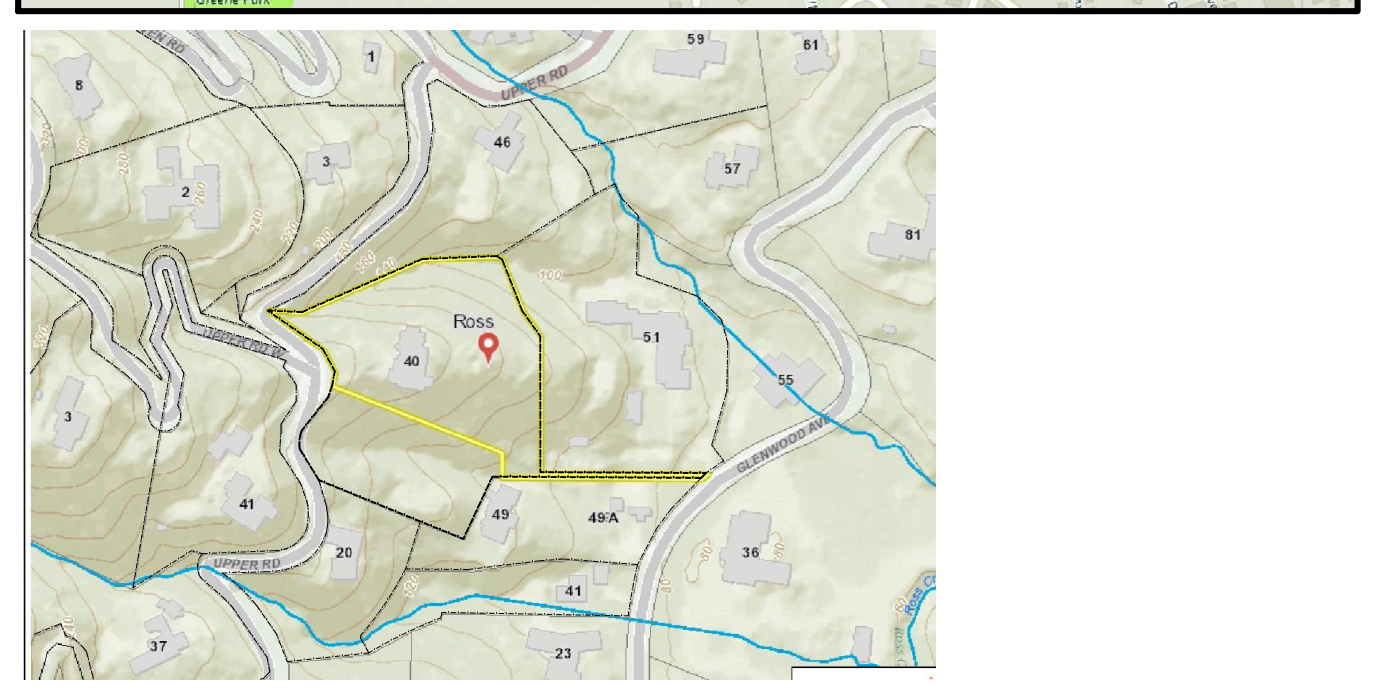
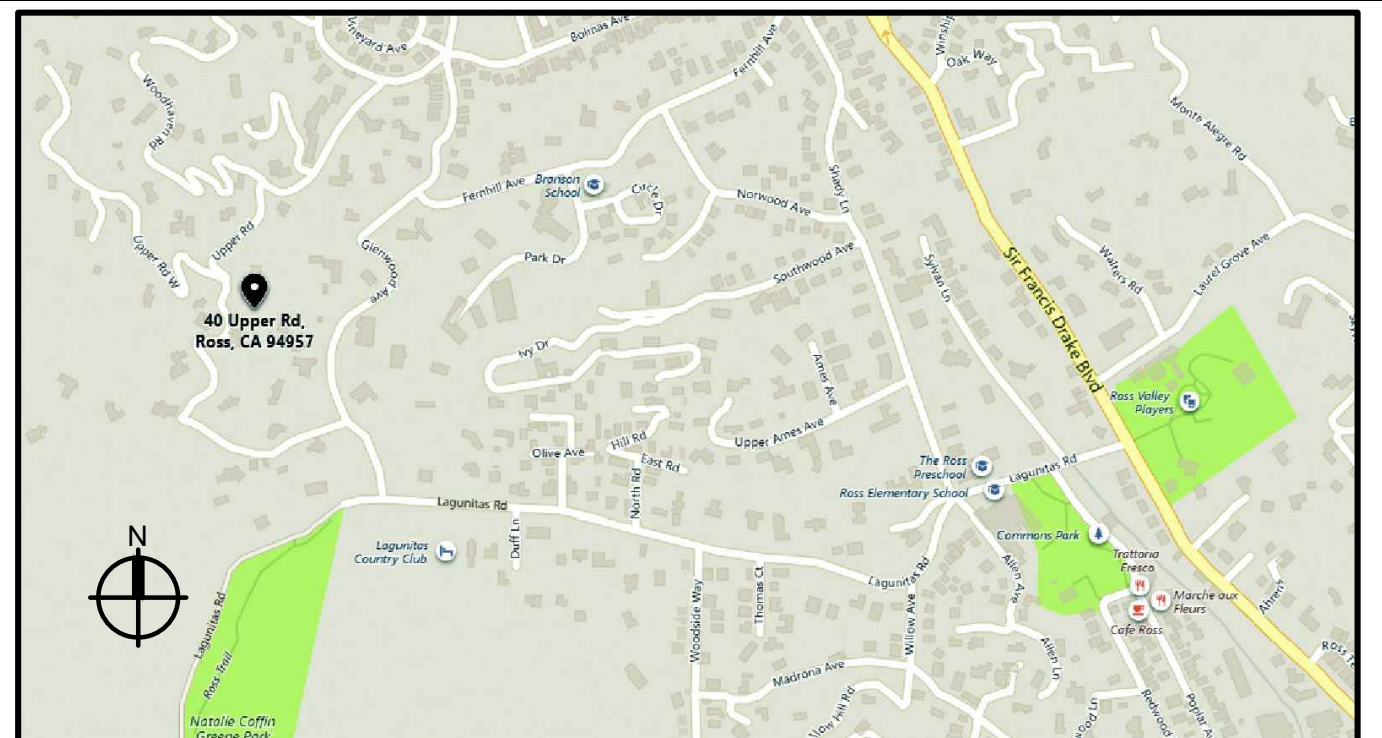
- f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the Building staff and/or the Public Works Director.
- g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of planning, building, public works staff and the police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition for Working Hours.
- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the Building staff. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building, Public Works and Ross Valley Fire Department is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.

- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Juneteenth, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.
- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project

- final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
 - v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
 - w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
 - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.
 - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.
 - iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
10. The project shall comply with all requirements, standards, and policies of the Ross Municipal Code, General Plan, County of Marin, State, and Federal laws.
11. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding (“action”) against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

ATTACHMENT 2

VICINITY MAP (N.T.S.)



PROJECT DIRECTORY

OWNER PAMELA SHER
40 UPPER ROAD
ROSS, CA

LAND SURVEY DAVID HARP & ASSOCIATES
PROFESSIONAL LAND SURVEYORS
10 HARBOR VIEW COURT
SAN RAFAEL, CA 94901
PHONE (415)453-7924
EMAIL harp5290@gmail.com

LANDSCAPE ARCHITECT HSIAOCHEN CHUANG
STUDIO H2 LANDSCAPE ARCHITECTURE
215 7TH AVE.
SAN FRANCISCO, CA 94118
PHONE (415)412-7916
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CIVIL ENGINEER DAN HUGHES
MUNSELLE CIVIL ENGINEERING & LAND SURVEYING
513 CENTER ST. HEALDSBURG, CA 95448
PHONE (707) 395-0968
EMAIL dan@munsellecivil.com

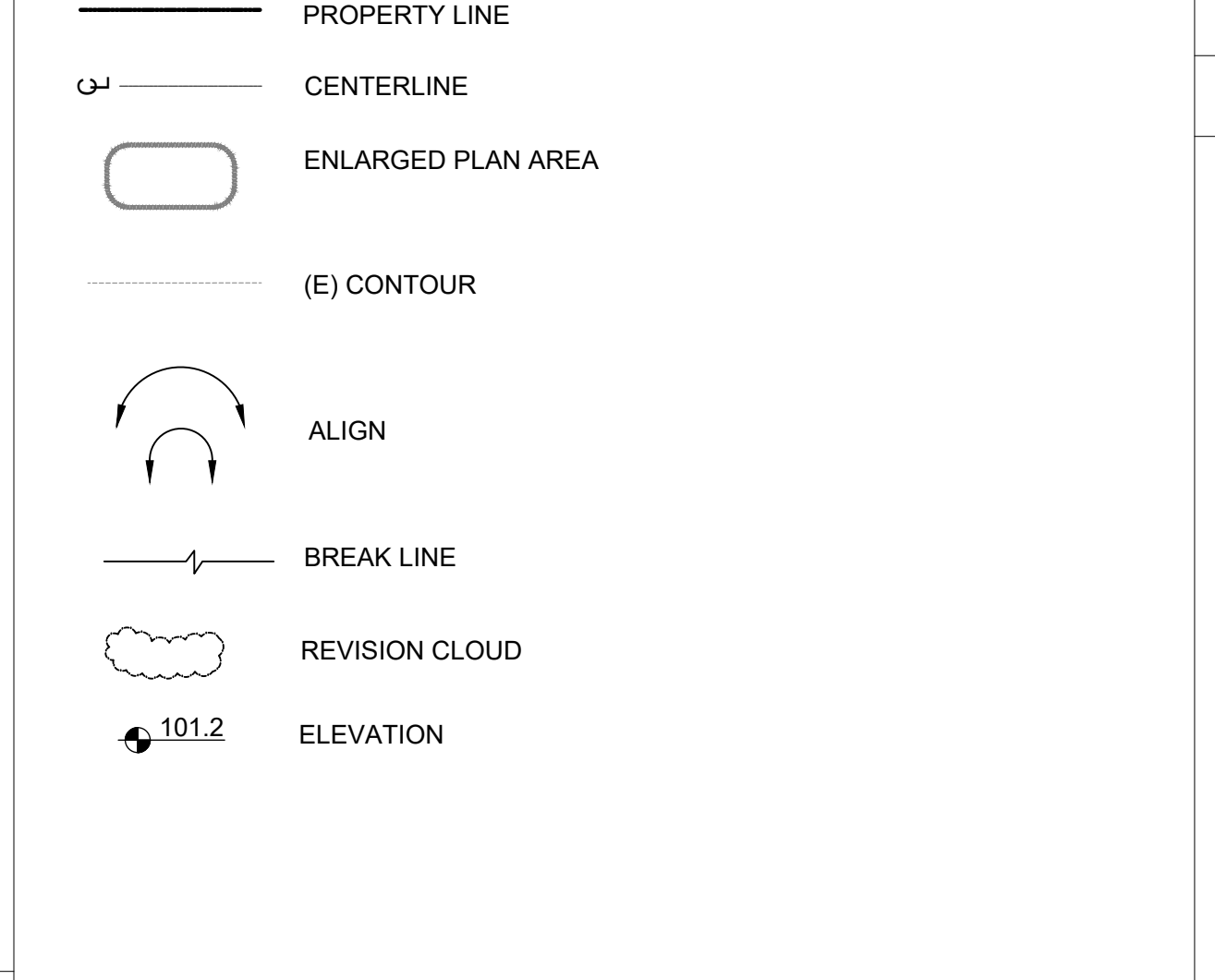
PROJECT DESCRIPTION

THIS IS LANDSCAPE IMPROVEMENT TO AN EXISTING HOUSE. THE PROPOSED WORK IS BUILDING A NEW SWIMMING POOL WITH TERRACED WALLS AND PATIO, RAISED WOOD DECK, POOL EQUIPMENT, RETAINING WALLS, PATIO, STAIRS, AND NEW PLANTING.

LIST OF DRAWINGS & REPORTS

- TOPOGRAPHY MAP**
- L0.1 LANDSCAPE COVER SHEET
 - L1.0 SITE PLAN
 - L2.0 PRELIMINARY LANDSCAPE PLAN
 - L3.0 PLANTING PLAN
 - L4.0 PRELIMINARY LANDSCAPE MATERIALS
 - L5.0 PRELIMINARY SECTIONS
 - L6.0 PRELIMINARY DETAILS
 - L7.0 PRELIMINARY CONSTRUCTION MANAGEMENT PLAN
- C1 COVER SHEET**
- C2 OVERALL SITE PLAN
 - C3 GRADING PLAN
 - C4 DRAINAGE PLAN
 - C5 DETAILS

GENERAL SYMBOLS



ABBREVIATIONS

Ø	DIAMETER	(E)	EXISTING	LSJ	LONGITUDINAL SHRINKAGE JOINT	SG	SUBGRADE
@	AT	EA	EACH	MAX	MAXIMUM	SH	STEEL HEADER
AB	AGGREGATE BASE	EF	EACH FACE	MFR	MANUFACTURER	SHP	SWALE FLOWLINE HIGH POINT
AC	ASPHALTIC CONCRETE	EJ	EXPANSION JOINT	MH	MANHOLE	SIM	SIMILAR
AD	AREA DRAIN	EL	ELEVATION	MIN	MINIMUM	SJ	SCORE JOINT
ARCH	ARCHITECT	ENGR	ENGINEER	MM	MILLIMETERS	SLD	SEE LANDSCAPE DRAWINGS
AVG	AVERAGE	EP	EDGE OF PAVEMENT	NIC	NOT IN CONTRACT	SS	STRAIGHT SLOPE
B&B	BALL AND BURLAP	EQ	EQUAL	NTS	NOT TO SCALE	SSD	SEE STRUCTURAL DRAWINGS
BLDG	BUILDING	EW	EACH WAY	OC	ON CENTER	ST STL	STAINLESS STEEL
BR	BIKE RACK	EX	EXISTING	OCEW	ON CENTER EACH WAY	SSGD	SEE SIGN DRAWINGS
BSW	BACK OF SIDEWALK	FDC	FIRE DEPARTMENT CONNECTION	OD	OUTSIDE DIAMETER	TBD	TO BE DETERMINED
CAL	CALIPER	FFE	FINISH FLOOR	OPP	OPPOSITE	T&B	TOP AND BOTTOM
CB	CATCH BASIN	FG	FINISH GRADE	PA	PLANTING AREA	TC/BC	TOP/BOTTOM OF CURB
CH	CONCRETE HEADER	FH	FIRE HYDRANT	PERF	PERFORATED	TS/BS	TOP/BOTTOM OF STEP
CJ	CONTROL JOINT	FL	FLOW LINE	POC	POINT OF CONNECTION	TW/BW	TOP/BOTTOM OF WALL
CL	CENTER LINE	FS	FACE OF WALL	PT	POINT OF TANGENCY	TOB	TOP OF BERM
CLR	CLEARANCE	FB	FINISH SURFACE	R	RADIUS	TOE	TOE OF BERM
CMU	CONCRETE MASONRY UNIT	GB	GRADE BREAK	RB	ROOT BARRIER	TOF	TOP OF FENCE
CO	CLEAN OUT	GJ	GROUT JOINT	RGB	ROUNDED GRADE BREAK	TOFG	TOP OF FOOTING
COJ	CONSTRUCTION JOINT	H	HANDICAP PARKING STALL	RIM	RIM ELEVATION	TOFN	TOP OF FOUNDATION
CONC	CONCRETE	HC	HANDICAP	ROW	RIGHT OF WAY	TOP	TOP OF POST
CONT	CONTINUOUS	HH	HANDHOLE	SAD	SEE ARCHITECTURAL DRAWINGS	TPTL	TREE PLANTING TRENCH LIMIT
CP	CENTER POINT	HP	HIGH POINT	SB	SEE CIVIL DRAWINGS	TWL	TREE WELL
D/B	DESIGN/BUILD	HV	HANDICAP VAN PARKING STALL	SCD	SEE CIVIL DRAWINGS	TYP	TYPICAL
DI	DRAIN INLET	ID	INSIDE DIAMETER	SD	SEE CIVIL DRAWINGS	UFC	UNIFORM FIRE CODE
DIA	DIAMETER	IE	INVERT ELEVATION	SED	SEE ELECTRICAL DRAWINGS	VEH	VEHICULAR
DN	DOWN	LOW	LIMIT OF WORK			WWF	WELDED WIRE FABRIC
		LP	LOW POINT				

PROJECT NOTES

1. SUB DRAINAGE DESIGN, UNDERGROUND DRAINAGE PIPE CONNECTIONS PER CONTRACTOR. BACKWALL DRAIN DESIGN SEE S.E. DRAWINGS.
2. REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
3. APPLICABLE NOTES: PERFORM WORK IN ACCORDANCE WITH THE MOST CURRENT APPLICABLE CODE REQUIREMENTS, AND APPLICABLE REQUIREMENTS OF ALL OTHER REGULATORY AGENCIES.
4. UNLESS OTHERWISE SPECIFIED, SPECIFIC REFERENCES TO CODES, REGULATIONS, STANDARDS, MANUFACTURERS' INSTRUCTIONS, OR REQUIREMENTS OF REGULATORY AGENCIES, WHEN USED TO SPECIFY REQUIREMENTS FOR MATERIALS OF DESIGN ELEMENTS SHALL MEAN THE LATEST EDITION OF EACH IN EFFECT AT THE DATE OF SUBMISSION OF BIDS, OR THE DATE OF THE CHANGE OF ORDER OR FIELD ORDERS, AS APPLICABLE.
5. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO CONSTRUCT THE BUILDING IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS.
6. SHOULD ANY CONDITIONS DEVELOP WHICH ARE NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BEFORE PROCEEDING WITH THE WORK.
7. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

PROJECT DATA

PROJECT ADDRESS: 40 UPPER ROAD
ROSS, CA 94957

APN/ LOT: 073-071-08

ZONING CODE: R-1_B-A -SINGLE FAMILY RESIDENTIAL

WUI: YES

FLOOD ZONE: NO

SLOPE: 42%

LOT SIZE: 87,648 SF

PROJECT TYPE: LANDSCAPE IMPROVEMENT

REHABILITATED LANDSCAPE AREA: 1,300 SF

SITE DATA TABLE			
	ALLOWED	EXISTING	PROPOSED
LOT SIZE		87,648 SF	
LOT COVERAGE	12,697 SF (15%)	3,765 SF (0.043%)	NO CHANGE
TOTAL FLOOR AREA	4,903 SF	6,369 SF	NO CHANGE
FRONT YARD SETBACK	25 Ft	25 Ft	
SIDE YARD SETBACK	45 Ft	45 Ft	
REAR YARD SETBACK	70 Ft	70 Ft	
MAX. HEIGHT OF STRUCTURES	30 Ft		NO CHANGE
ON-SITE PARKING SPACES		4	NO CHANGE
CUT			103 CY
FILL			267 CY
IMPORT/ OFF-HAUL			164 CY
IMPERVIOUS SURFACE AREA		4,625 SF	7,028 SF
PERVIOUS SURFACE AREA		8,007 SF	6,989 SF

IMPERVIOUS AND PERVIOUS COVERAGE BREAKDOWN					
	FEATURE	MATERIALS	EXISTING	PROPOSED	
IMPERVIOUS	DRIVEWAY	ASPHALT	2,018	2,018	
	PATIO AND WALKWAY	PAVER	1,773	3,013	
	STAIRS	PAVER	762	873	
	SWIMMING POOL	CONCRETE	0	840	
	WATER FEATURE	CONCRETE	72	72	
	EQUIPMENT PAD	CONCRETE	0	40	
	BIO RETENTION		0	172	
	TOTAL		4,625	7,028	
	MAX. ALLOWED			<? SQFT	
	PERVIOUS	PATIO	CRUSHED STONE	1,108	1108
WALKWAY		CRUSHED STONE	6,899	5,829	
DECK AND STAIRS		WOOD	0	52	
TOTAL			8,007	6,989	

STUDIO H2
landscape architecture
215 7TH AVENUE
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415.412.7916

SHEET TITLE

LANDSCAPE COVER SHEET

-NOT FOR CONSTRUCTION-

DRAWING RELEASE STATUS	DATE

PROJECT INFO

SHER RESIDENCE

40 UPPER ROAD
ROSS, CA 94957

APN: 073-071-08

LICENSE STAMP

HSIAOCHEN CHUANG
RCE 5675 Exp. 04/30/26

SCALE N/A

DATE 11.25.2024

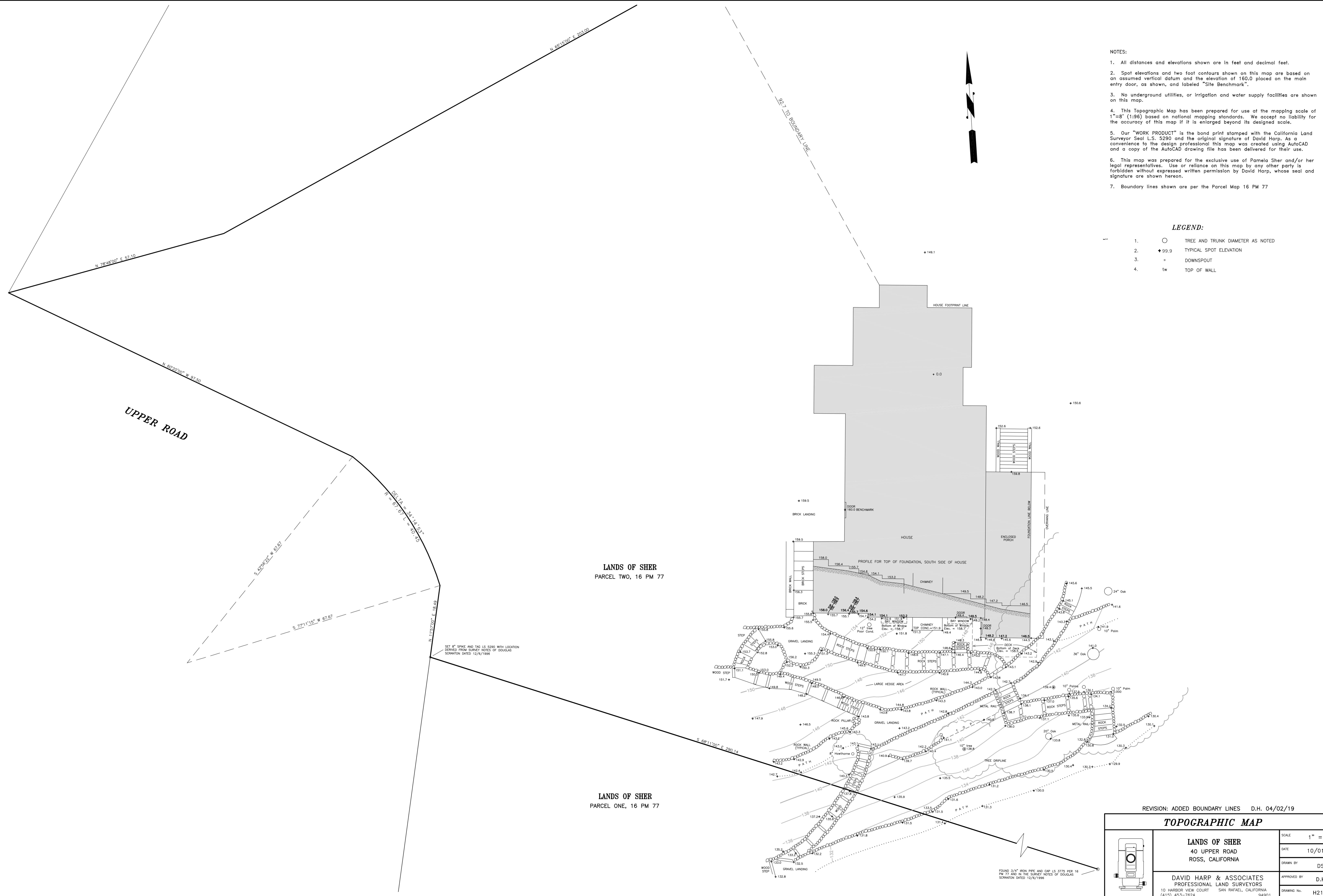
SHEET NO.

L-0.1

- NOTES:
- All distances and elevations shown are in feet and decimal feet.
 - Spot elevations and two foot contours shown on this map are based on an assumed vertical datum and the elevation of 160.0 placed on the main entry door, as shown, and labeled "Site Benchmark".
 - No underground utilities, or irrigation and water supply facilities are shown on this map.
 - This Topographic Map has been prepared for use at the mapping scale of 1"=8' (1:96) based on national mapping standards. We accept no liability for the accuracy of this map if it is enlarged beyond its designed scale.
 - Our "WORK PRODUCT" is the hard print stamped with the California Land Surveyor Seal L.S. 5290 and the original signature of David Harp. As a convenience to the design professional this map was created using AutoCAD and a copy of the AutoCAD drawing file has been delivered for their use.
 - This map was prepared for the exclusive use of Pamela Sher and/or her legal representatives. Use or reliance on this map by any other party is forbidden without expressed written permission by David Harp, whose seal and signature are shown hereon.
 - Boundary lines shown are per the Parcel Map 16 PM 77

LEGEND:

- TREE AND TRUNK DIAMETER AS NOTED
- ◆ 99.9 TYPICAL SPOT ELEVATION
- DOWNSPOUT
- tw TOP OF WALL



LANDS OF SHER
PARCEL TWO, 16 PM 77

LANDS OF SHER
PARCEL ONE, 16 PM 77

SET 8" SPIKE AND TAG LS 5290 WITH LOCATION DERIVED FROM SURVEY NOTES OF DOUGLAS SCRANTON DATED 12/6/1996

FOUND 3/4" IRON PIPE AND CAP LS 3775 PER 16 PM 77 AND IN THE SURVEY NOTES OF DOUGLAS SCRANTON DATED 12/6/1996

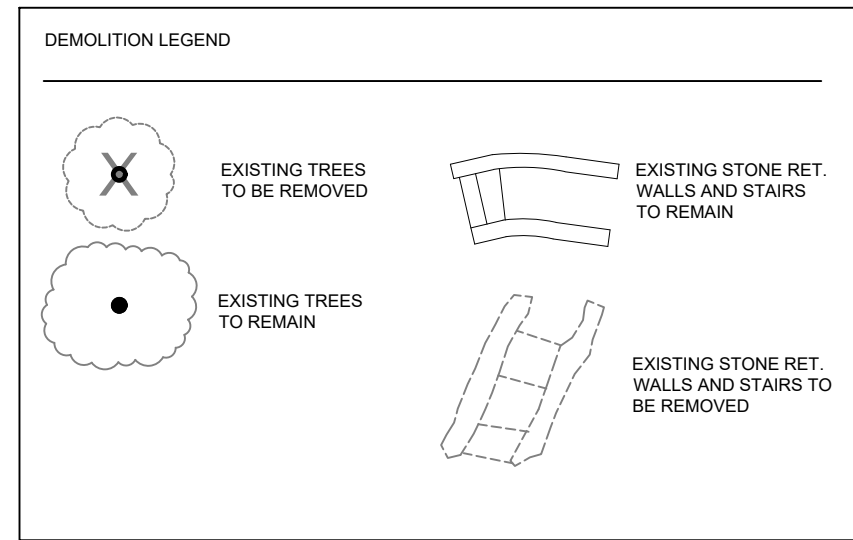
REVISION: ADDED BOUNDARY LINES D.H. 04/02/19

TOPOGRAPHIC MAP

LANDS OF SHER
40 UPPER ROAD
ROSS, CALIFORNIA

DAVID HARP & ASSOCIATES
PROFESSIONAL LAND SURVEYORS
10 HARBOR VIEW COURT SAN RAFAEL, CALIFORNIA
(415) 453-7624 94901

SCALE	1" = 10'
DATE	10/01/18
DRAWN BY	DS.
APPROVED BY	D.H.
DRAWING NO.	H2109



STUDIO H2
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SHEET TITLE
**PRELIMINARY
 SITE PLAN**
 -NOT FOR CONSTRUCTION-

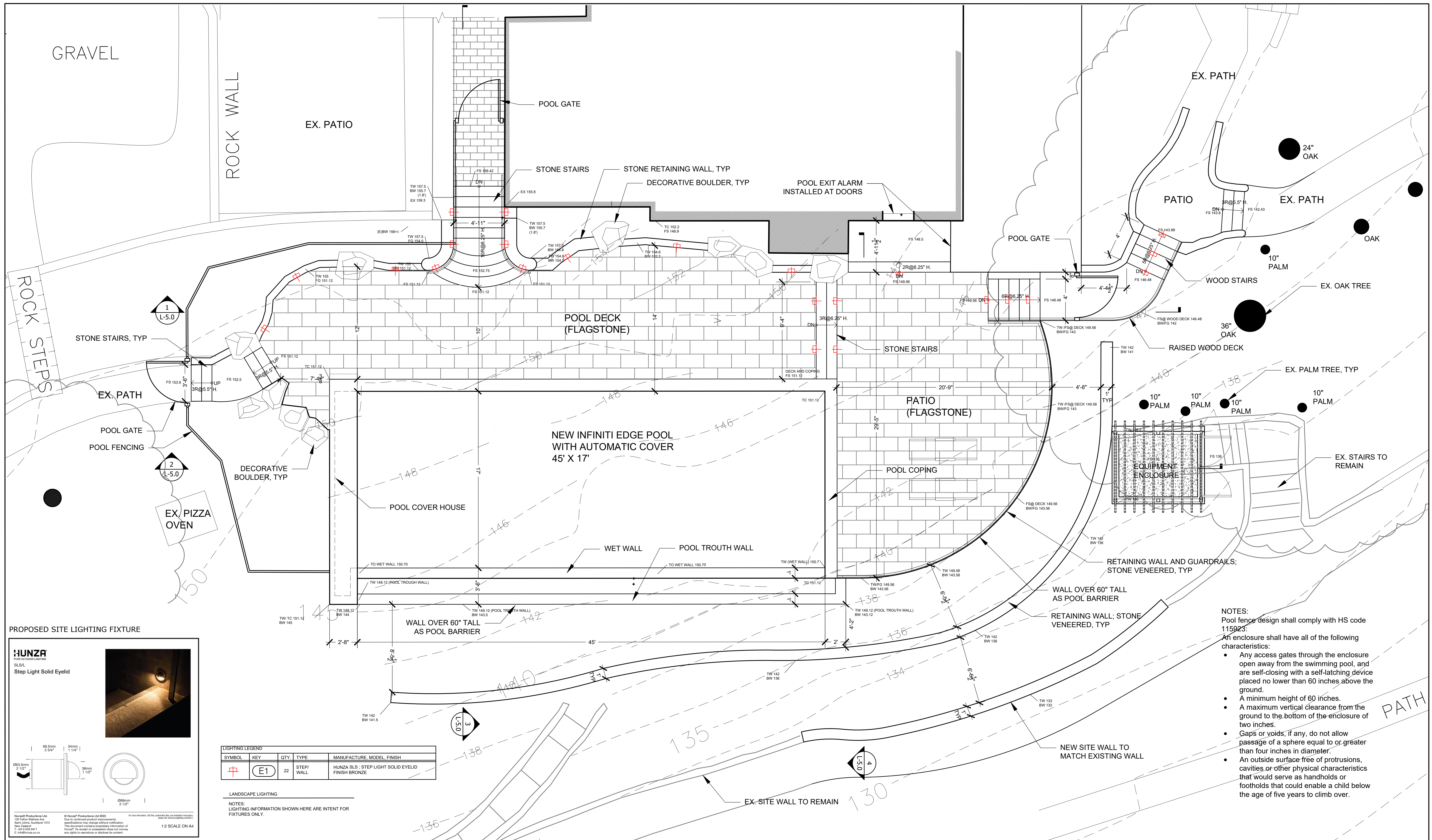
DRAWING RELEASE STATUS _____ DATE _____

PROJECT INFO
SHER RESIDENCE
 40 UPPER ROAD
 ROSS, CA 94957
 APN: 073-071-08

LICENSE STAMP

 Hsiao-Chien Chuang
 RCE 5675 Exp. 04/30/26

SCALE 1"=20'
 DATE 11.25.2024
 SHEET NO.
L-1.0



- NOTES:**
- Pool fence design shall comply with HS code 115923:
 - An enclosure shall have all of the following characteristics:
 - Any access gates through the enclosure open away from the swimming pool, and are self-closing with a self-latching device placed no lower than 60 inches above the ground.
 - A minimum height of 60 inches.
 - A maximum vertical clearance from the ground to the bottom of the enclosure of two inches.
 - Gaps or voids, if any, do not allow passage of a sphere equal to or greater than four inches in diameter.
 - An outside surface free of protrusions, cavities or other physical characteristics that would serve as handholds or footholds that could enable a child below the age of five years to climb over.

PROPOSED SITE LIGHTING FIXTURE

HUNZA
SLS/L
Step Light Solid Eyelid

Hunza® Productions Ltd.
121 Folsom, Oakland, CA 94612
Tel: 415 532 8671
www.hunza.com

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1:2 SCALE ON A4

LIGHTING LEGEND

SYMBOL	KEY	QTY.	TYPE	MANUFACTURE	MODEL	FINISH
⊕	E1	22	STEP/WALL	HUNZA SLS	STEP LIGHT SOLID EYELID	FINISH BRONZE

LANDSCAPE LIGHTING

NOTES:
LIGHTING INFORMATION SHOWN HERE ARE INTENT FOR FIXTURES ONLY.

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SHEET TITLE

**PRELIMINARY
LANDSCAPE PLAN
-NOT FOR CONSTRUCTION-**

DRAWING RELEASE STATUS

DATE

PROJECT INFO

SHER RESIDENCE

40 UPPER ROAD
ROSS, CA 94957

APN: 073-071-08

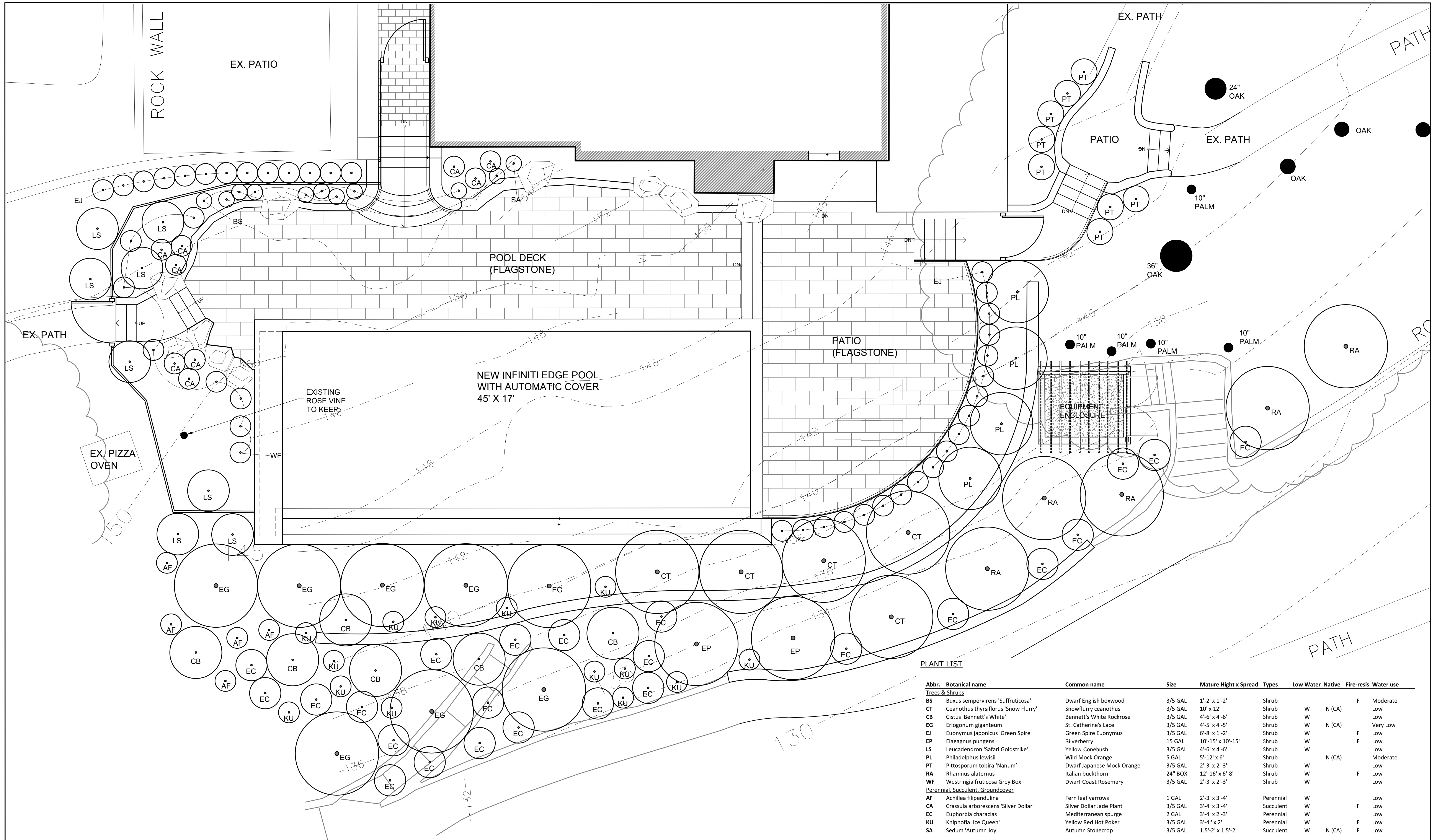
LICENSE STAMP

Hsiao-Chien Chuang
RCE 5675 Exp. 04/30/26

SCALE 1/4" = 1'-0"

DATE 11.25.2024

SHEET NO. **L-2.0**



PLANT LIST

Abbr.	Botanical name	Common name	Size	Mature Hight x Spread	Types	Low Water	Native	Fire-resis	Water use
<i>Trees & Shrubs</i>									
BS	Buxus sempervirens 'Suffruticosa'	Dwarf English boxwood	3/5 GAL	1'-2' x 1'-2'	Shrub	W	N (CA)	F	Moderate
CT	Ceanothus thyrsiflorus 'Snow Flurry'	Snowflurry ceanothus	3/5 GAL	10" x 12"	Shrub	W	N (CA)	F	Low
CB	Cistus 'Bennett's White'	Bennett's White Rockrose	3/5 GAL	4'-6" x 4'-6"	Shrub	W	W	F	Low
EG	Eriogonum giganteum	St. Catherine's Lace	3/5 GAL	4'-5" x 4'-5"	Shrub	W	N (CA)	F	Very Low
EJ	Euonymus japonicus 'Green Spire'	Green Spire Euonymus	3/5 GAL	6'-8" x 1'-2"	Shrub	W	W	F	Low
PL	Elaeagnus pungens	Silverberry	15 GAL	10'-15' x 10'-15'	Shrub	W	W	F	Low
LS	Leucadendron 'Safari Goldstrike'	Yellow Conebush	3/5 GAL	4'-6" x 4'-6"	Shrub	W	W	F	Low
PT	Philadelphus lewisii	Wild Mock Orange	5 GAL	5'-12" x 6'	Shrub	W	N (CA)	F	Moderate
RA	Pittosporum tobira 'Nanum'	Dwarf Japanese Mock Orange	3/5 GAL	2'-3" x 2'-3"	Shrub	W	W	F	Low
EC	Rhamnus alaternus	Italian buckthorn	24" BOX	12'-16" x 6'-8"	Shrub	W	W	F	Low
WF	Westringia fruticosa Grey Box	Dwarf Coast Rosemary	3/5 GAL	2'-3" x 2'-3"	Shrub	W	W	F	Low
<i>Perennial, Succulent, Groundcover</i>									
AF	Achillea filipendulina	Fern leaf yarrows	1 GAL	2'-3" x 3'-4"	Perennial	W	W	F	Low
CA	Crassula arborescens 'Silver Dollar'	Silver Dollar Jade Plant	3/5 GAL	3'-4" x 3'-4"	Succulent	W	W	F	Low
EC	Euphorbia characias	Mediterranean spurge	2 GAL	3'-4" x 2'-3"	Perennial	W	W	F	Low
KU	Kniphofia 'Ice Queen'	Yellow Red Hot Poker	3/5 GAL	3'-4" x 2'	Perennial	W	W	F	Low
SA	Sedum 'Autumn Joy'	Autumn Stonecrop	3/5 GAL	1.5'-2' x 1.5'-2'	Succulent	W	N (CA)	F	Low

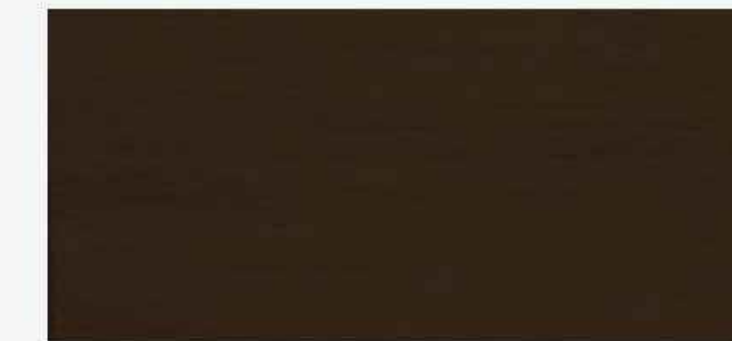
STUDIO H2 landscape architecture 215 7TH AVENUE SAN FRANCISCO CA 94118 415.412.7916	SHEET TITLE	<h1 style="text-align: center;">PRELIMINARY PLANTING PLAN</h1> <p style="text-align: center;">-NOT FOR CONSTRUCTION-</p>	DRAWING RELEASE STATUS	DATE	PROJECT INFO	LICENSE STAMP	SCALE	
						SHER RESIDENCE 40 UPPER ROAD ROSS, CA 94957 APN: 073-071-08		



3D RENDERING OF THE PROPOSED TERRACED PATIOS, WOOD DECK, SWIMMING POOL, RAILS, AND FENCING.



GUARD RAILS AND HANDRAILS
MATERIALS: STEEL
COLOR: BLACK HC-190 BY Benjamin Moore



OXFORD BROWN*

EQUIPMENT ENCLOSURE
MATERIALS: REDWOOD
COLOR: SOLID WOOD STAINS BY FLOOD SOLID WOOD STAINS



DECORATIVE NATURAL BOULDERS



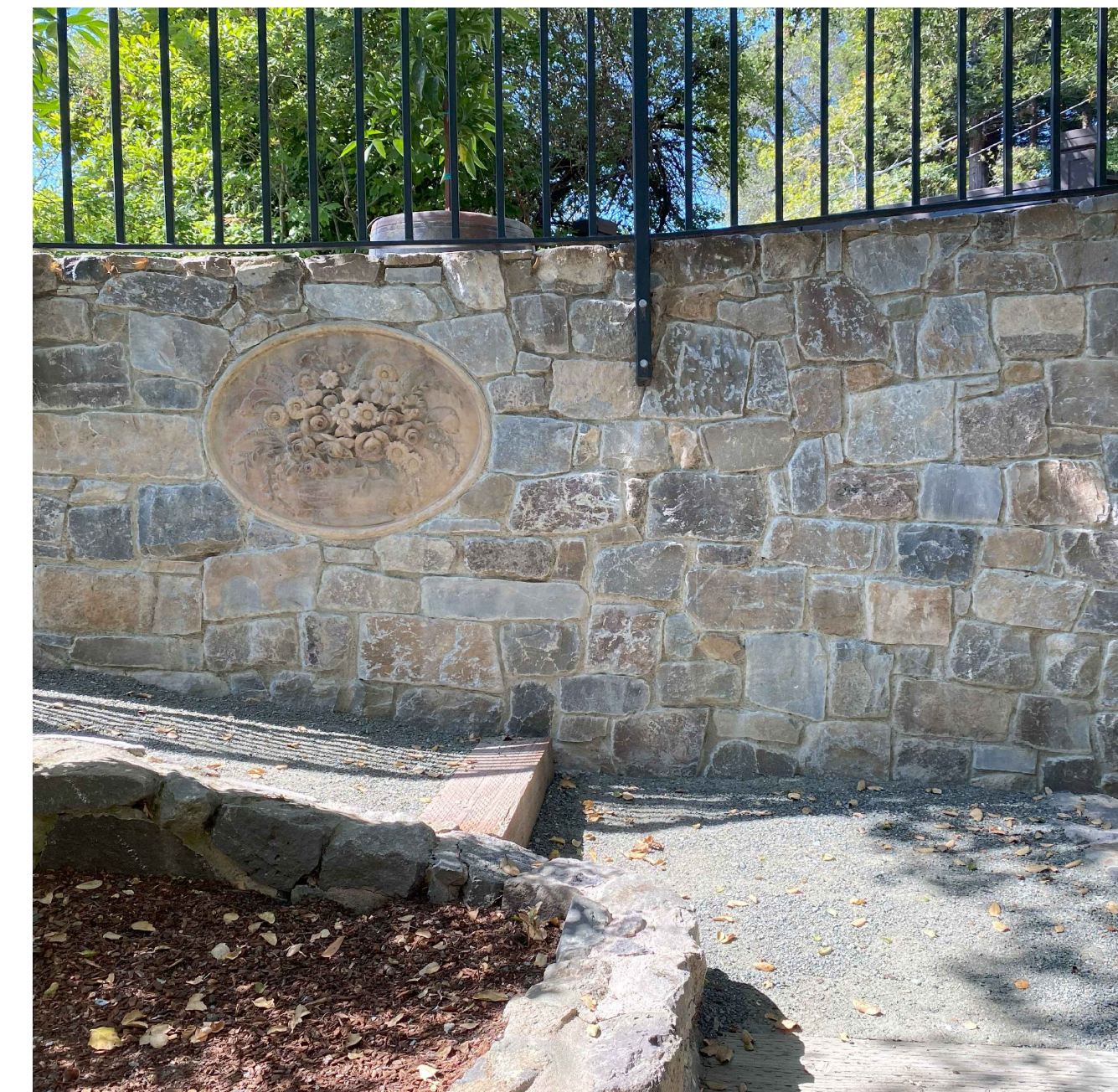
GUARDRAILS
MATERIALS: STEEL; PAINTED



BLUESTONE PATIO AND RISERS



NATURAL STONE VENEERED SITE WALLS



NATURAL STONE VENEERED RETAINING WALLS



STONE PAVER AND POOL COPING
MATERIALS: BLUESTONE, THERMAL BLUE SELECT

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SHEET TITLE

PRELIMINARY MATERIALS -NOT FOR CONSTRUCTION-

DRAWING RELEASE STATUS DATE

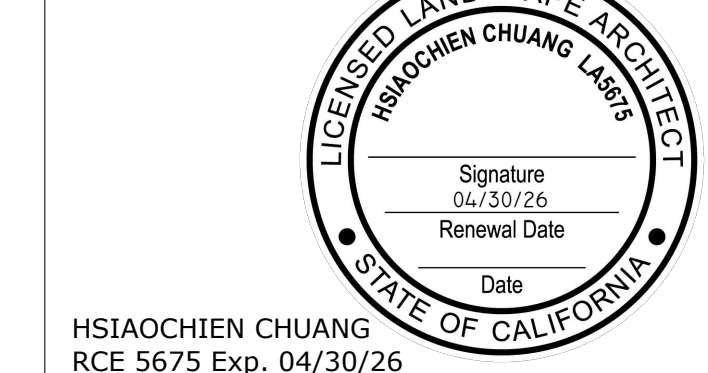
PROJECT INFO

SHER RESIDENCE

40 UPPER ROAD
ROSS, CA 94957

APN: 073-071-08

LICENSE STAMP

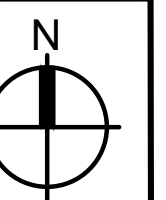


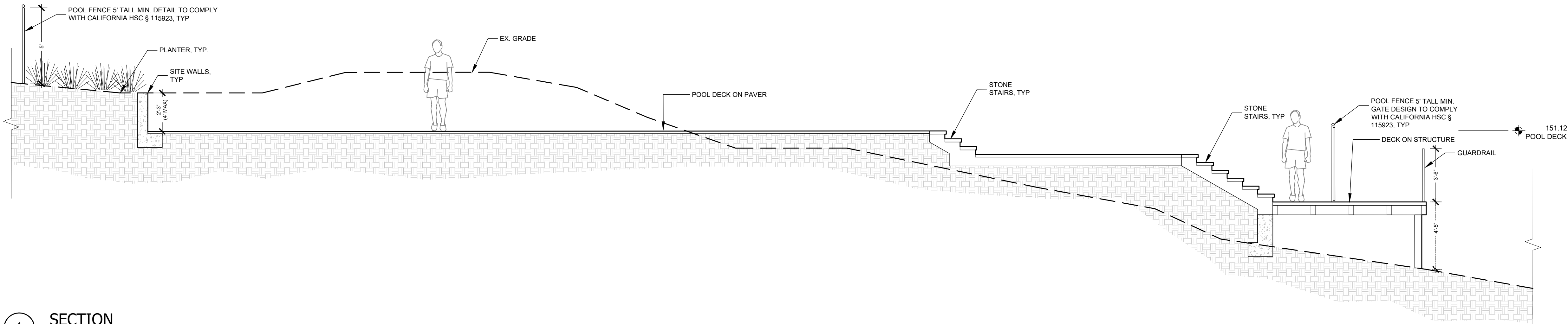
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DATE 11.25.2024

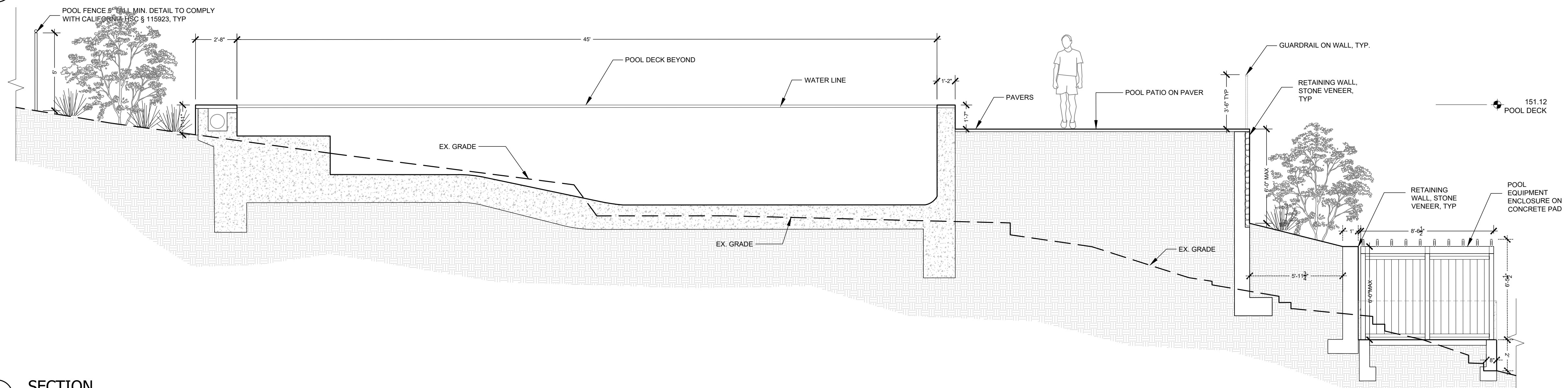
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L-4.0

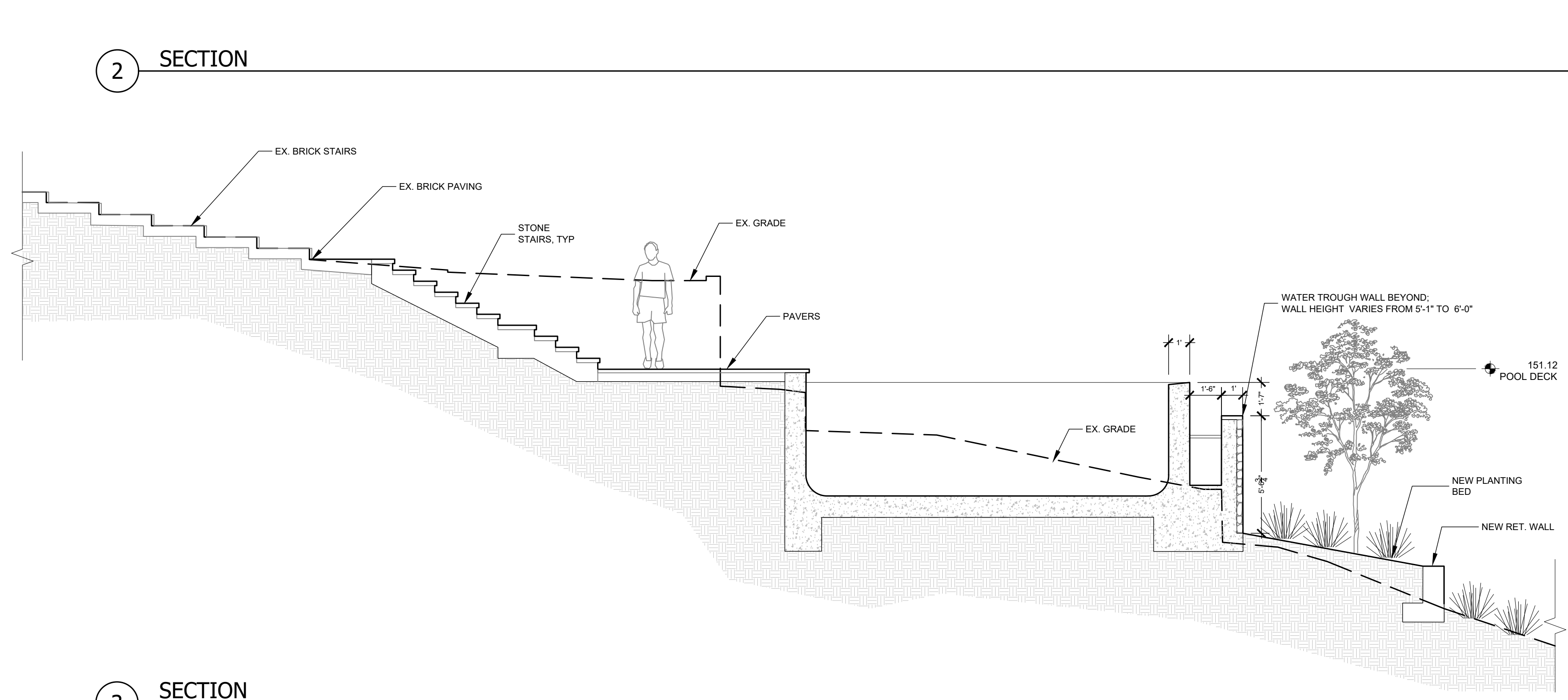




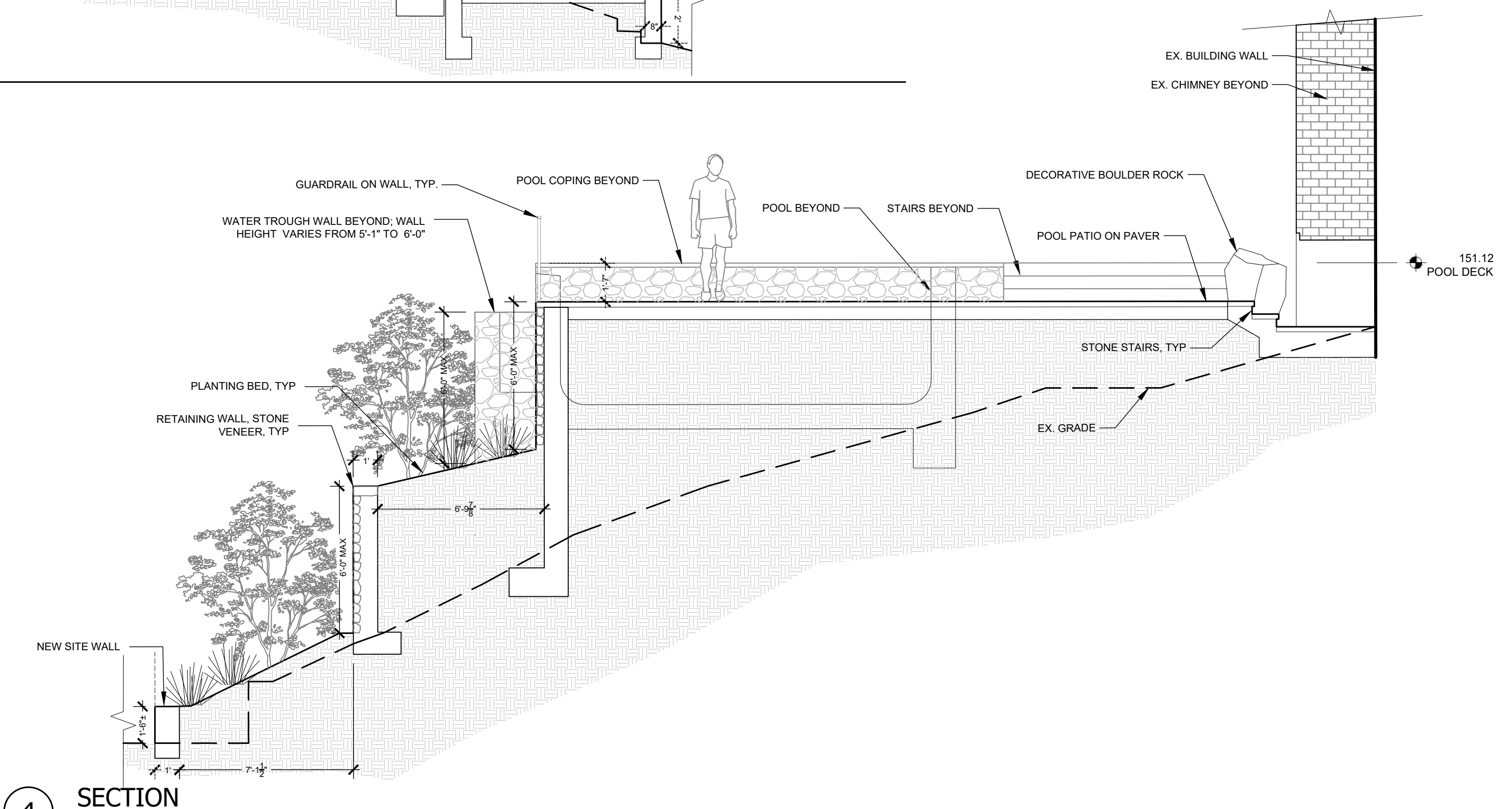
1 SECTION



2 SECTION



3 SECTION



4 SECTION

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SHEET TITLE
PRELIMINARY SECTIONS
 -NOT FOR CONSTRUCTION-

DRAWING RELEASE STATUS

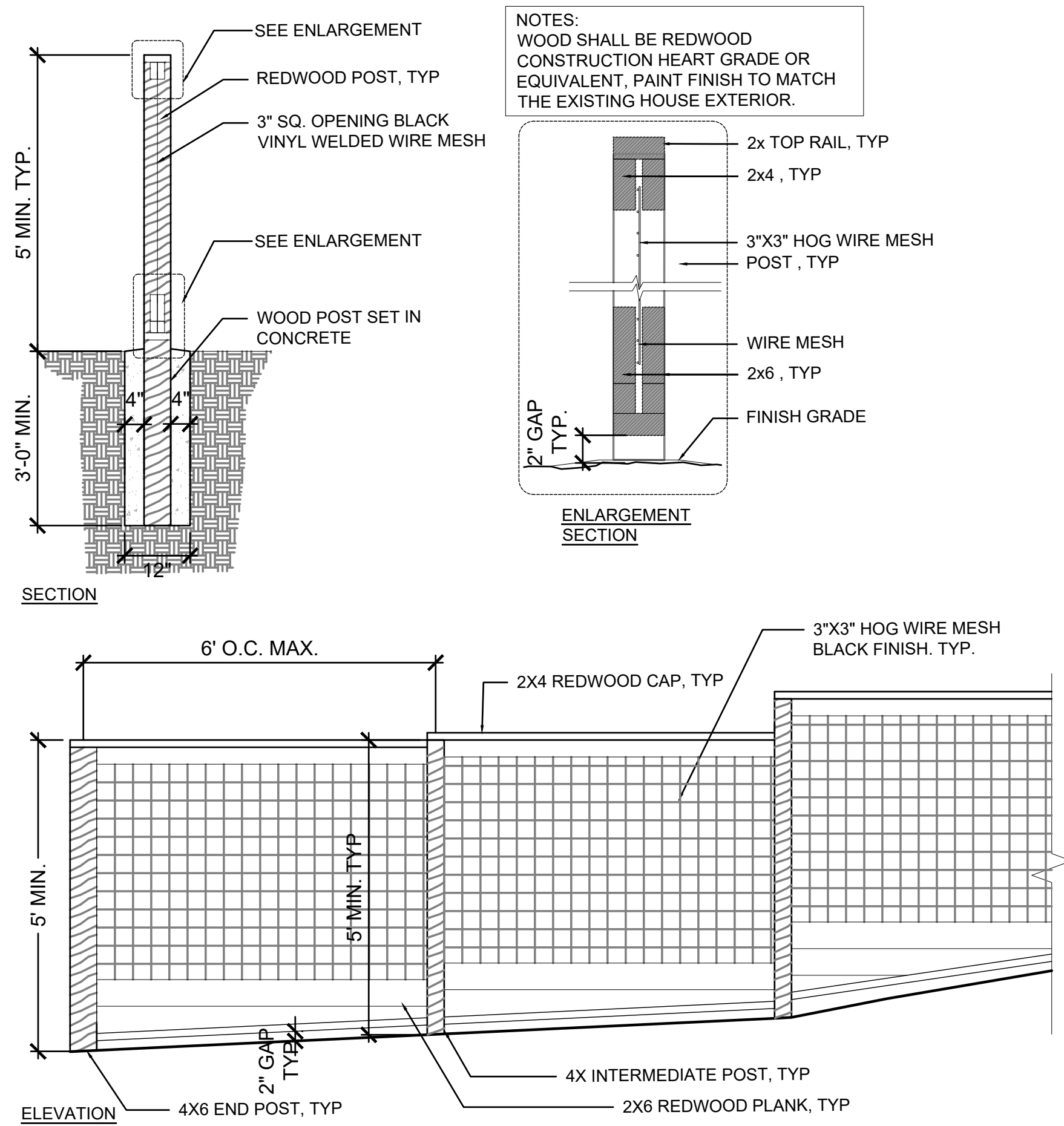
DATE

PROJECT INFO
SHER RESIDENCE
 40 UPPER ROAD
 ROSS, CA 94957
 APN: 073-071-08

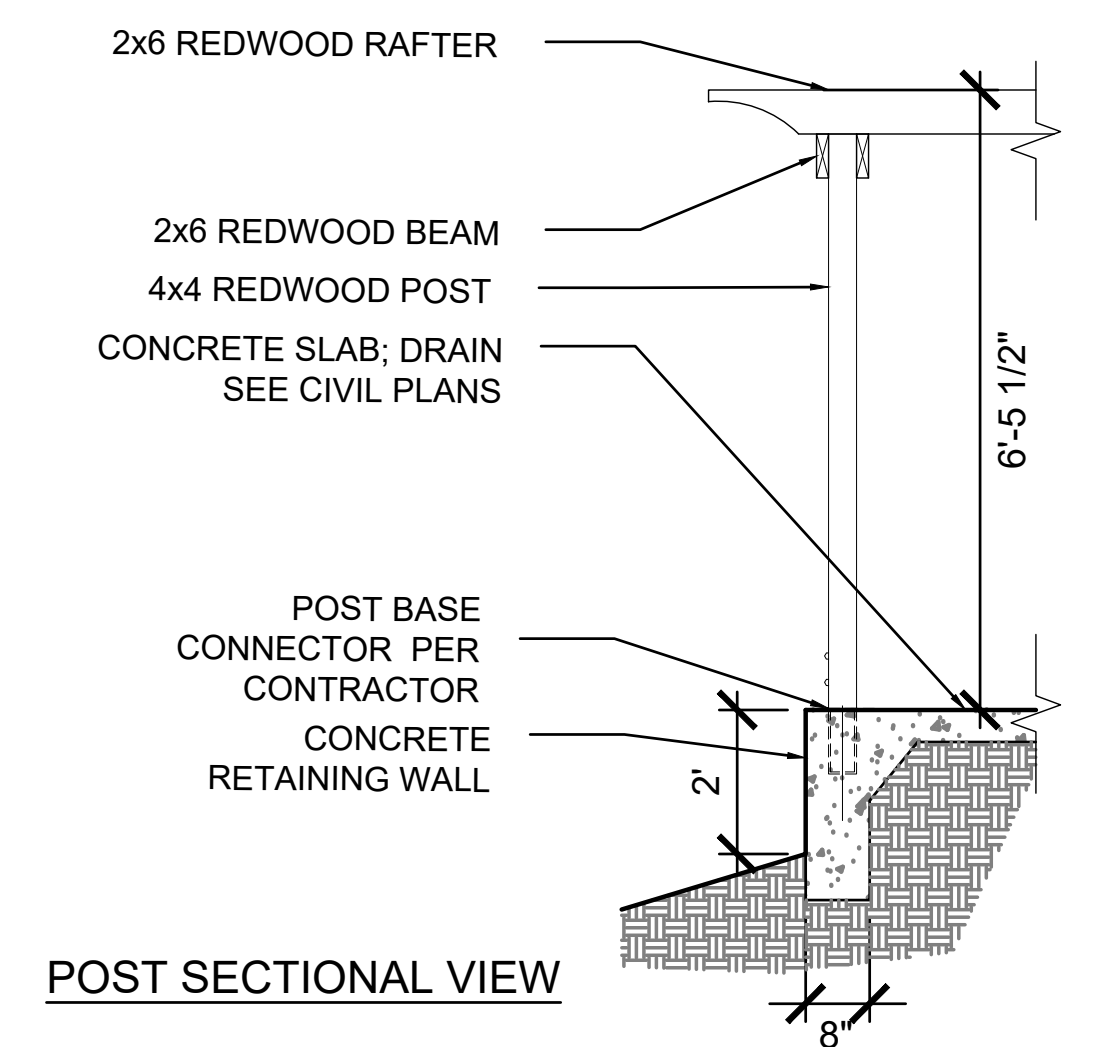
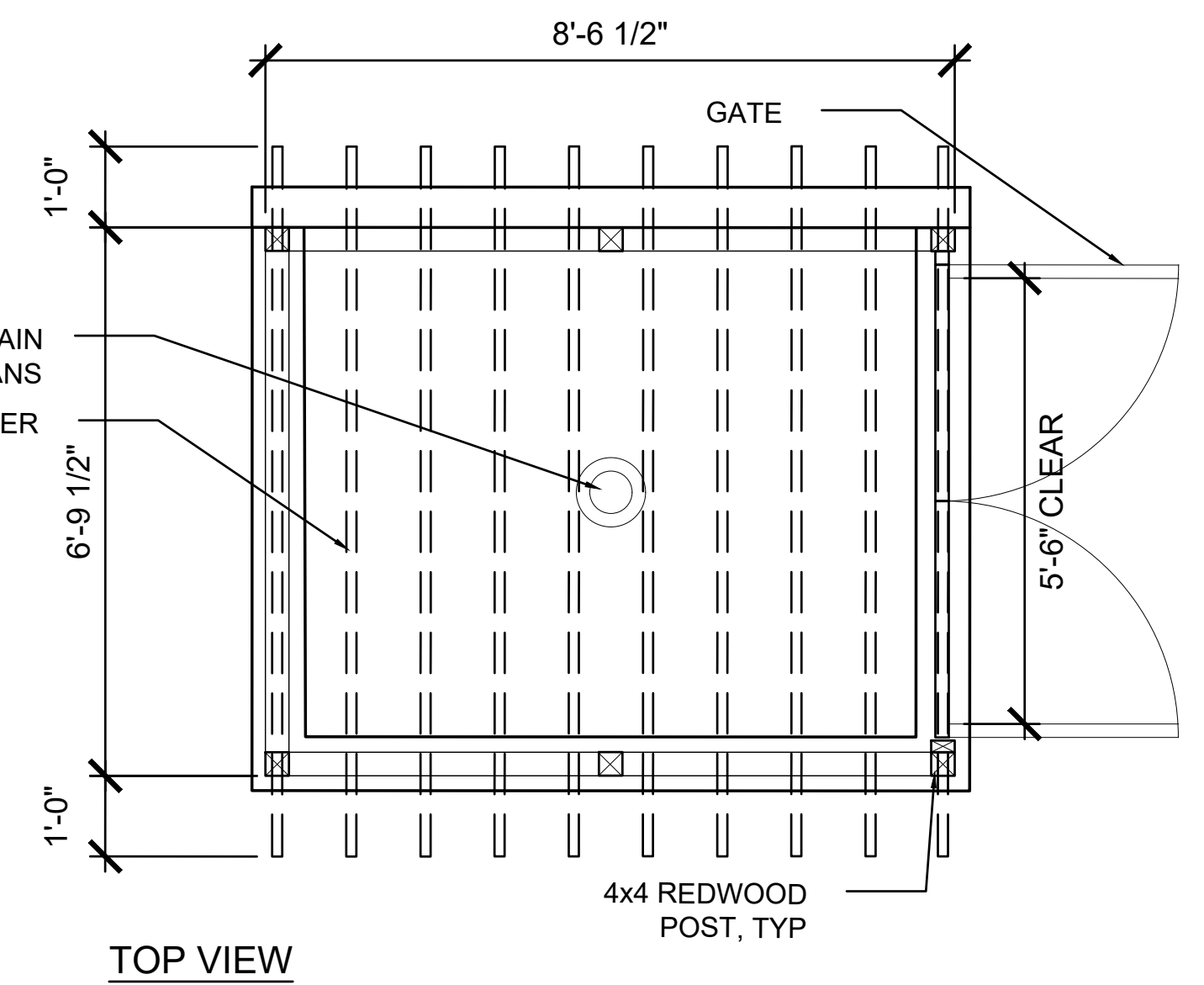
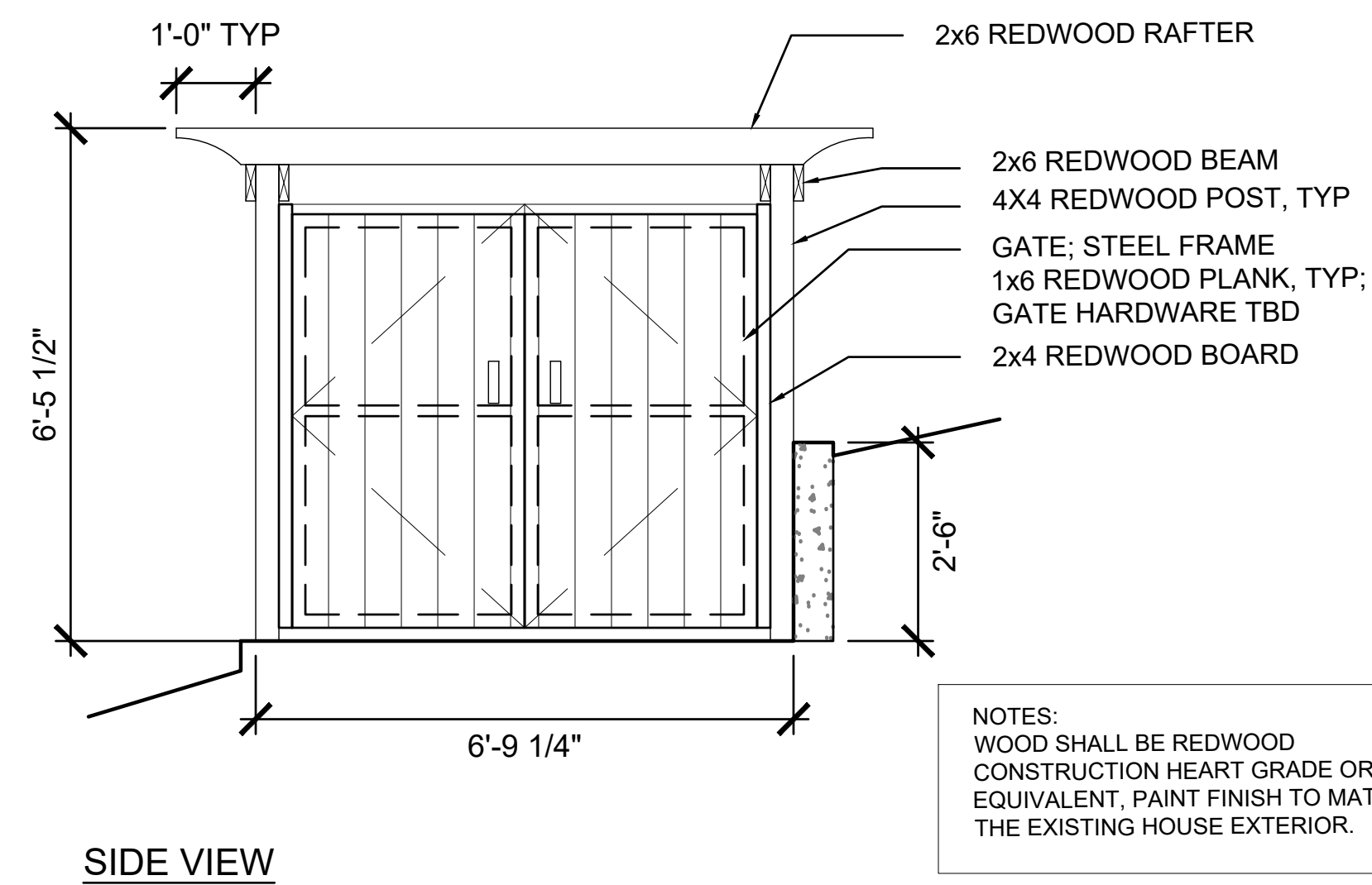
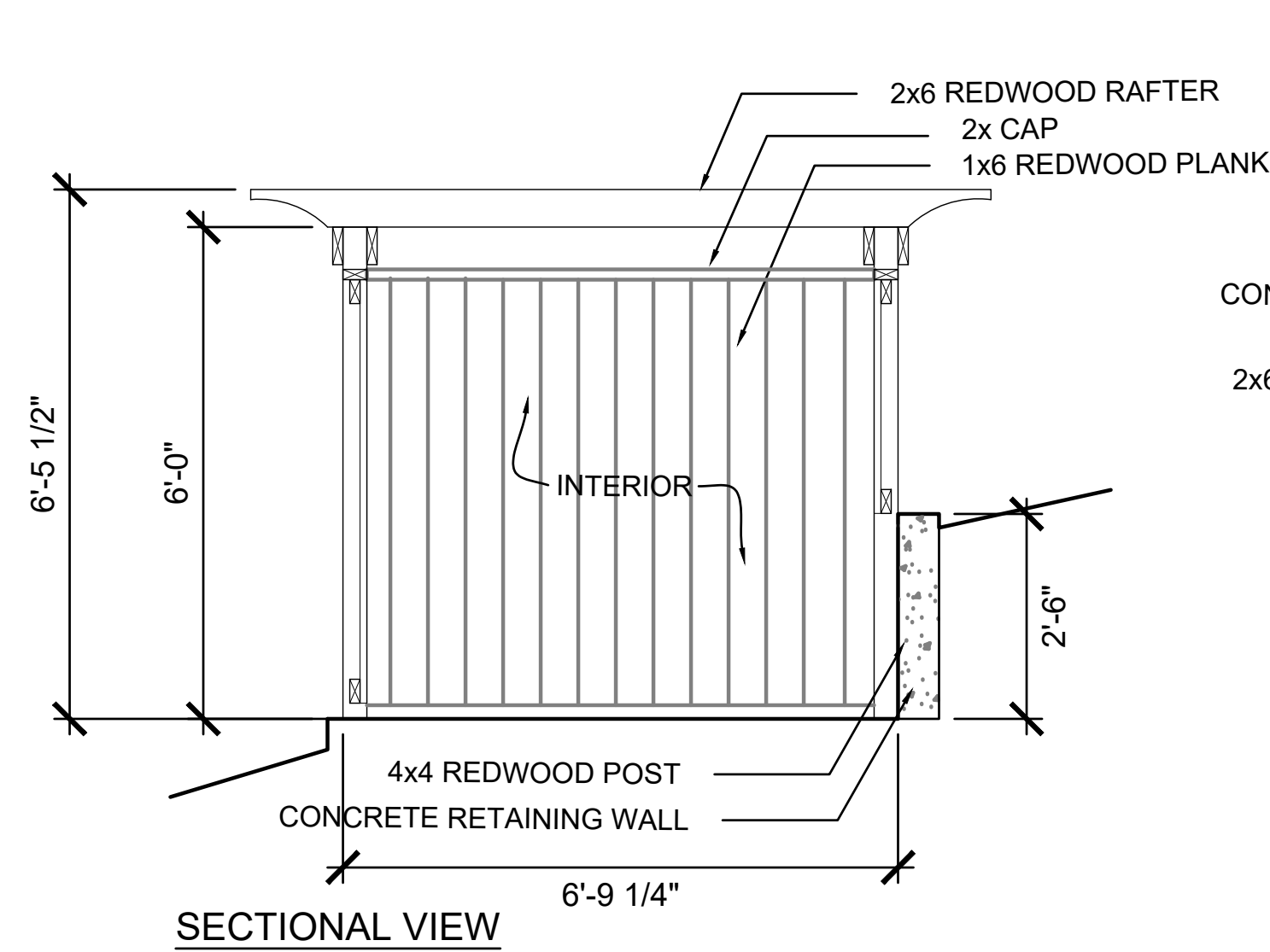
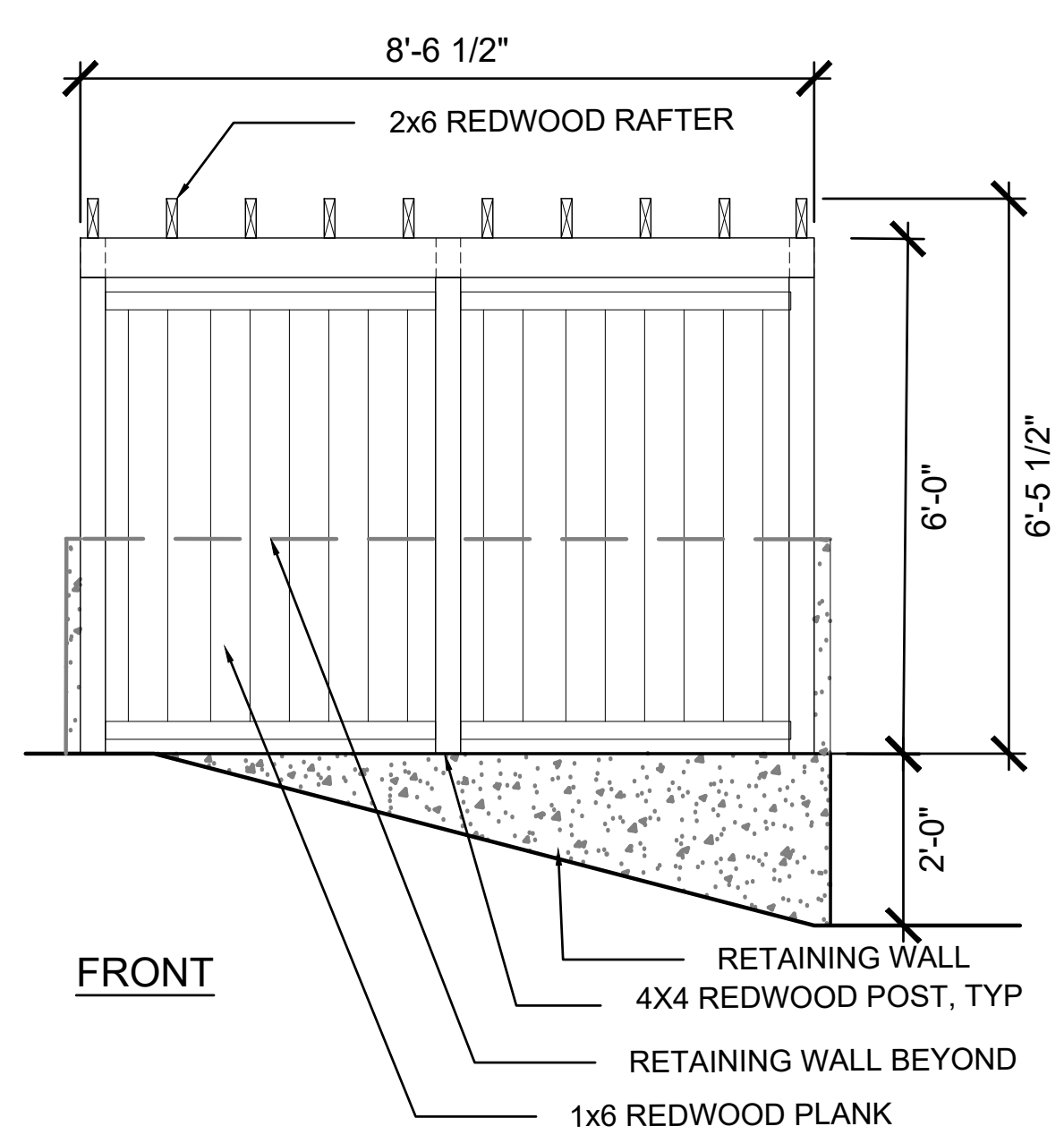
LICENSE STAMP

 Hsiao-Chien Chuang
 RCE 5675 Exp. 04/30/26

SCALE 1/4" = 1'-0"
 DATE 11.25.2024
 SHEET NO. **L-5.0**

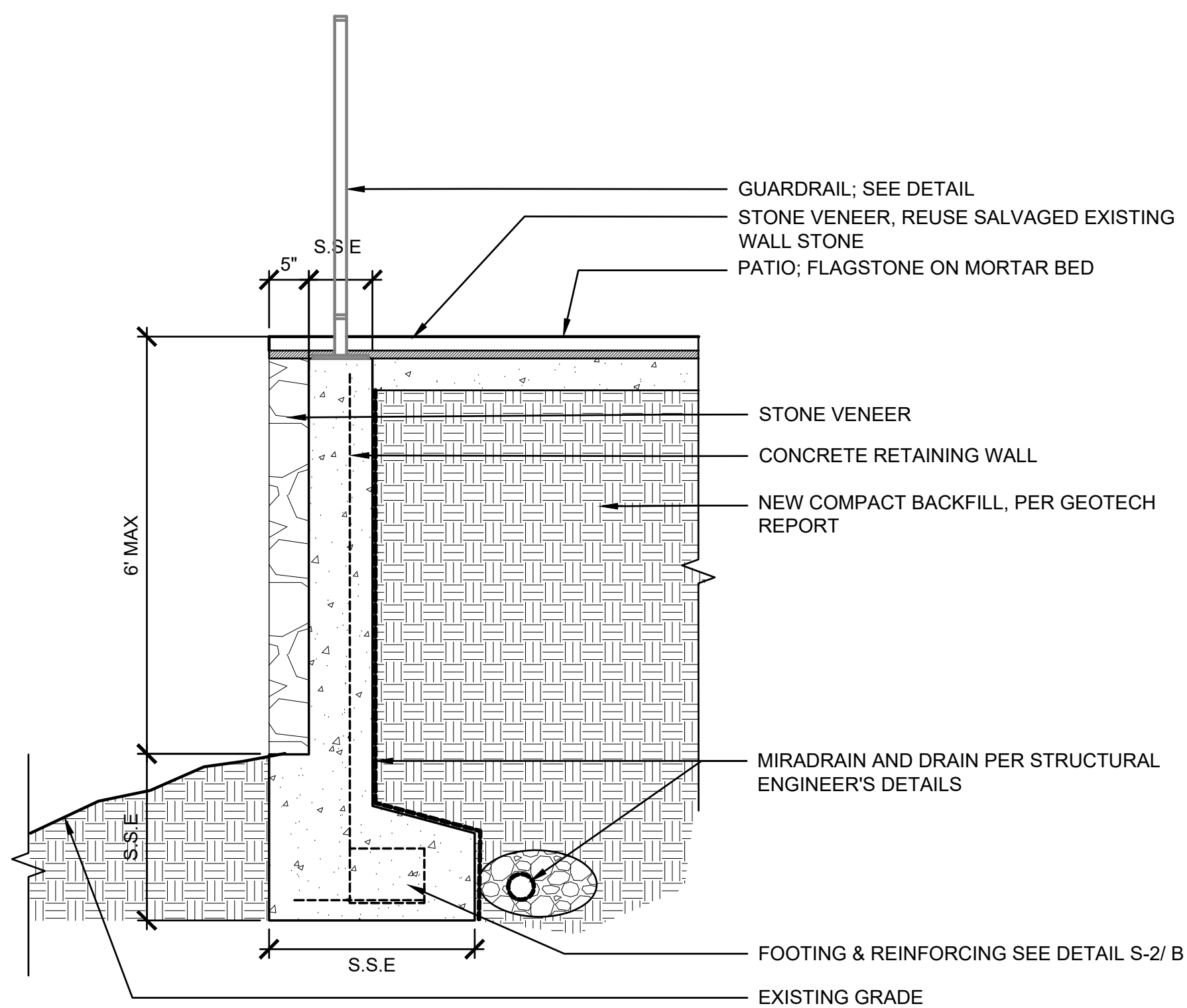


1 POOL FENCING 1/2"=1'-0"

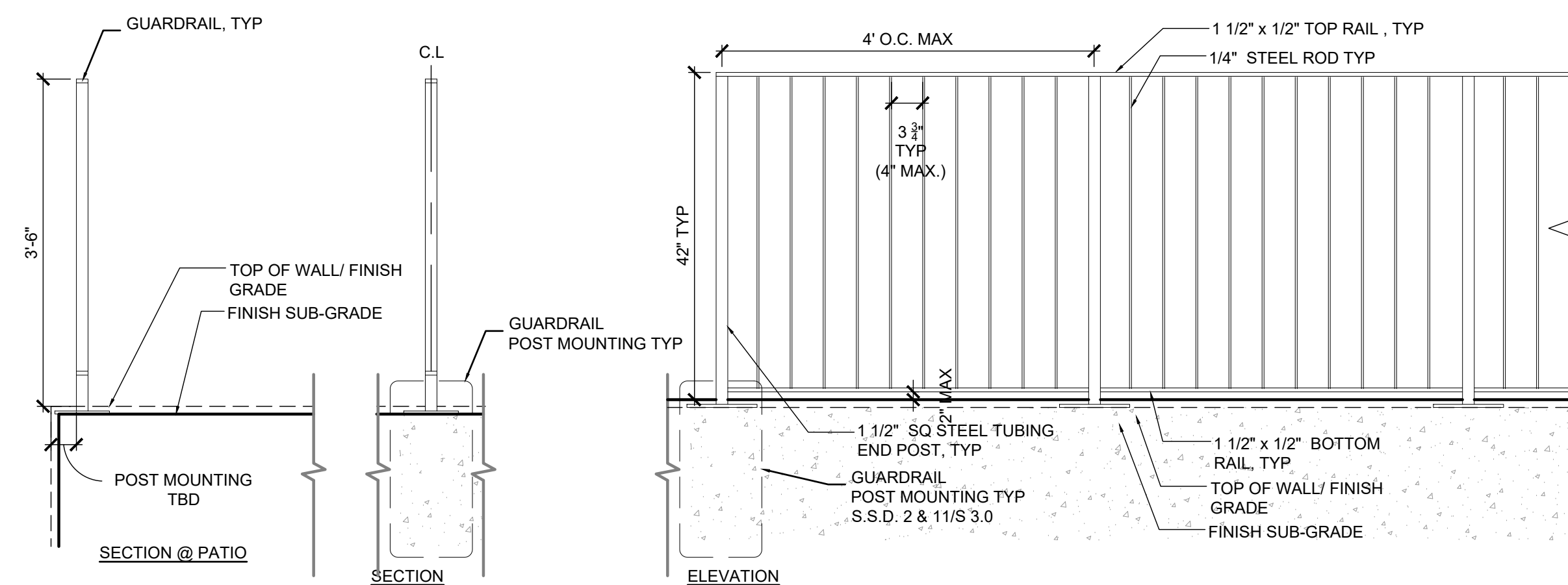


NOTES:
WOOD SHALL BE REDWOOD
CONSTRUCTION HEART GRADE OR
EQUIVALENT. PAINT FINISH TO MATCH
THE EXISTING HOUSE EXTERIOR.

2 POOL EQUIPMENT ENCLOSURE 1/2"=1'-0"



3 STONE VENEERED RETAINING WALL 3/4"=1'-0"



4 GUARDRAIL ON RETAINING WALL 3/4"=1'-0"

STUDIO H2
landscape architecture
215 7TH AVENUE
SAN FRANCISCO CA 94118
415.412.7916

SHEET TITLE

**PRELIMINARY
LANDSCAPE DETAILS**
-NOT FOR CONSTRUCTION-

DRAWING RELEASE STATUS

DATE

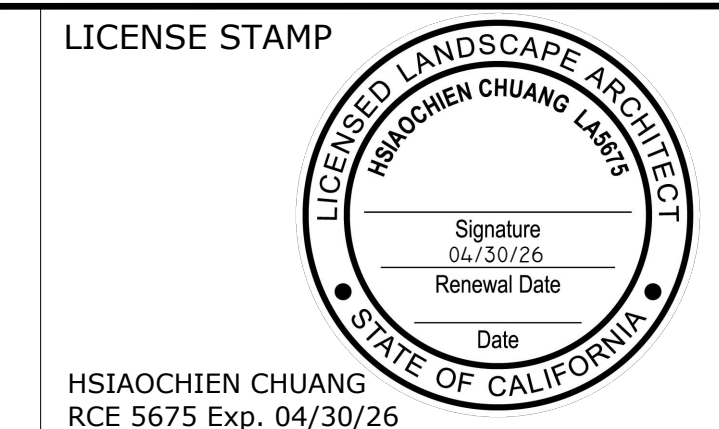
PROJECT INFO

SHER RESIDENCE

40 UPPER ROAD
ROSS, CA 94957

APN: 073-071-08

LICENSE STAMP

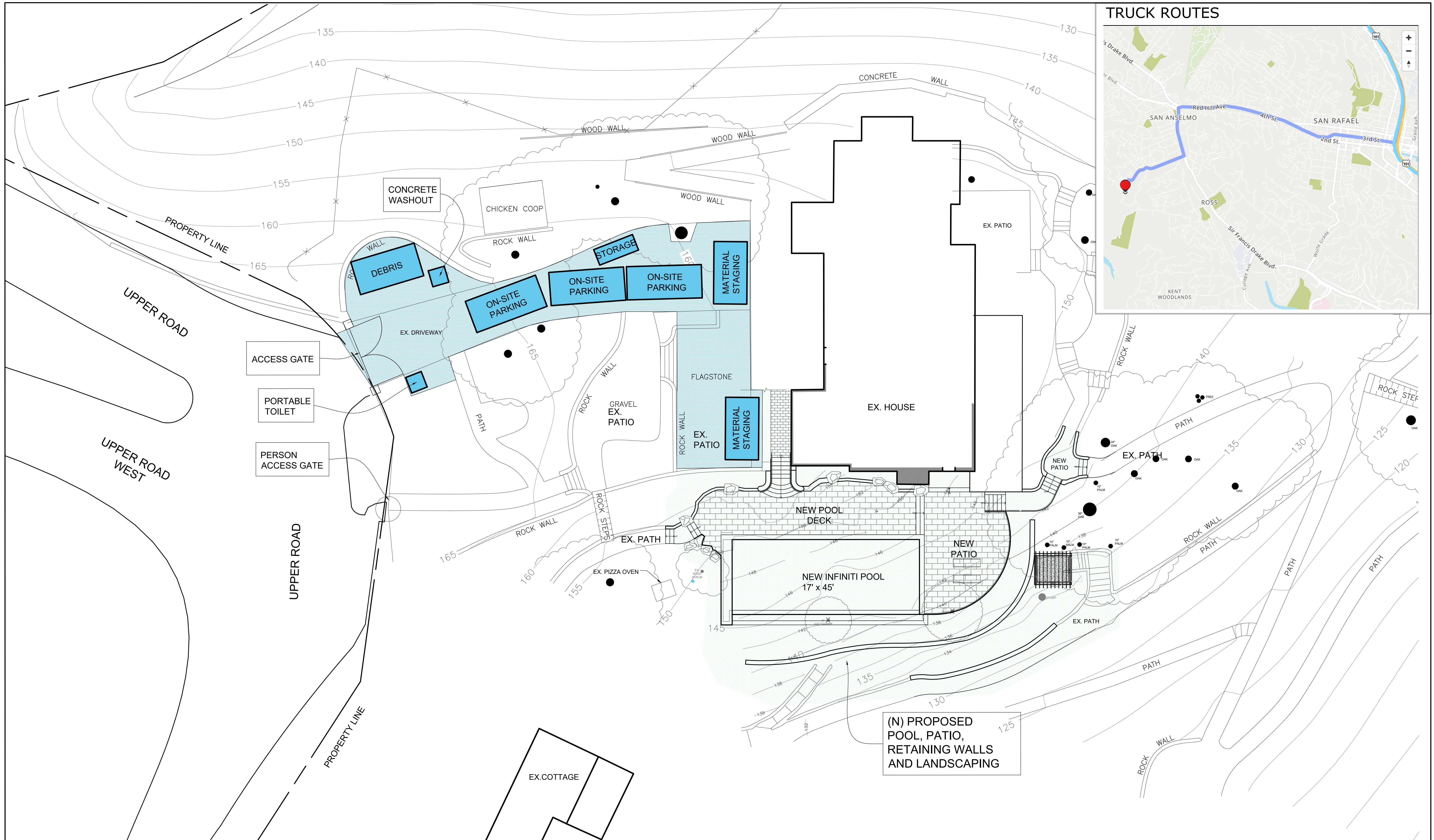


SCALE As Noted

DATE 11.25.2024

SHEET NO.

L-6.0



STUDIO H2
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 SAN FRANCISCO CA 94118
 415.412.7916

SHEET TITLE
PRELIMINARY CONSTRUCTION MANAGEMENT PLAN
 -NOT FOR CONSTRUCTION-

DRAWING RELEASE STATUS	DATE

PROJECT INFO
SHER RESIDENCE
 40 UPPER ROAD
 ROSS, CA 94957
 APN: 073-071-08

LICENSE STAMP

 Hsiao-Chien Chuang
 RCE 5675 Exp. 04/30/26

SCALE 1"=10'
 DATE 11.25.2024
 SHEET NO. **L-7.0**

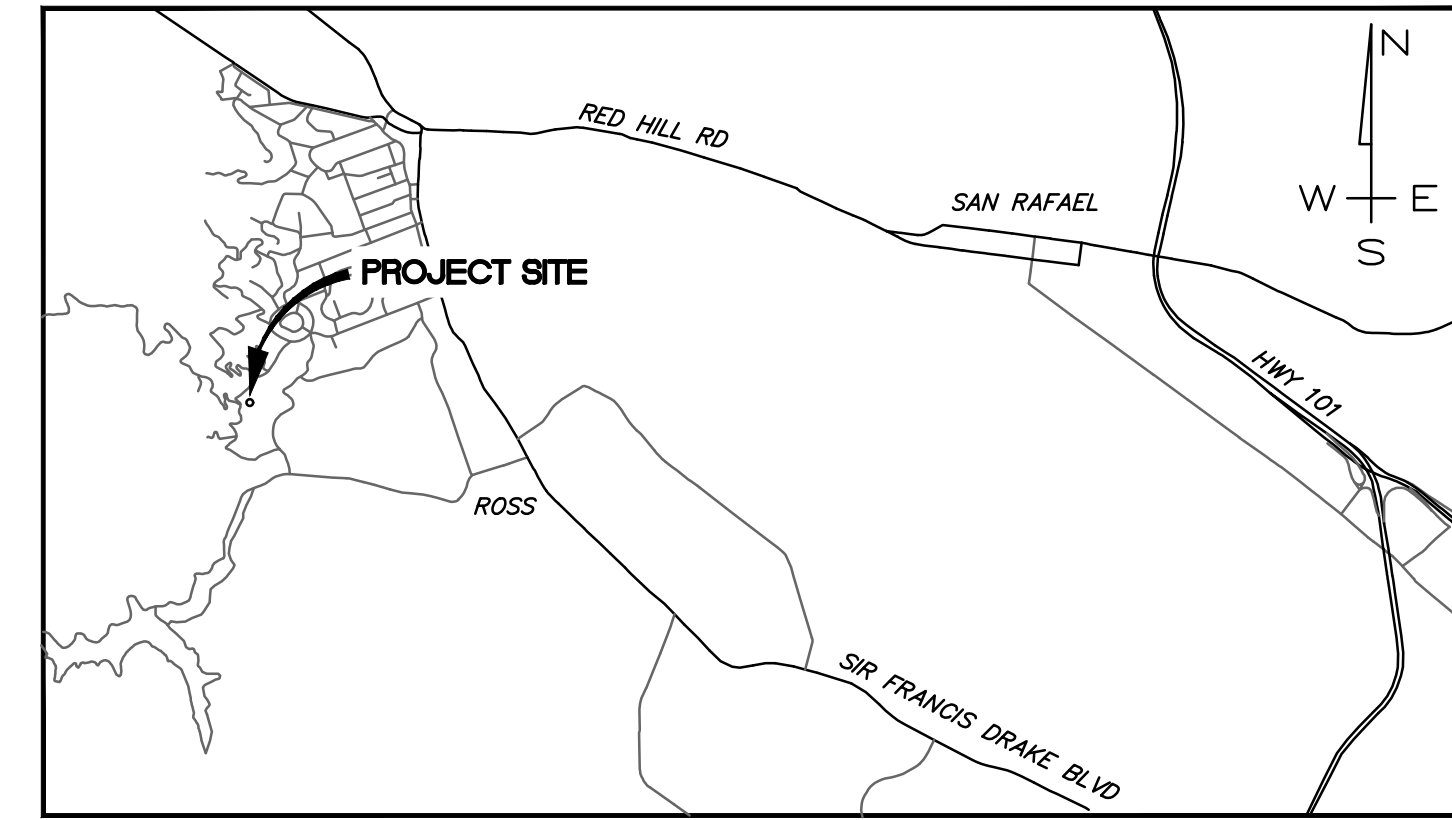
GRADING AND DRAINAGE NOTES

- PERFORM GRADING AND DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH CURRENT EDITION OF THE CALIFORNIA BUILDING CODE (CBC), APPENDIX J AND APPLICABLE TOWN OF ROSS CODE AND REGULATIONS.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD UPON DISCOVERING DISCREPANCIES, ERRORS, OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS, OR OMISSIONS. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED WITHOUT THE WRITTEN APPROVAL OF THE MARIN COUNTY BUILDING DEPARTMENT. PROPOSED MODIFICATIONS TO THE APPROVED PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE PERMIT AUTHORITY IN WRITING, TOGETHER WITH ALL NECESSARY TECHNICAL INFORMATION AND DESIGN DETAILS.
- THE GRADING/DRAINAGE PERMIT AND AN APPROVED COPY OF THE GRADING/DRAINAGE PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- TOWN OF ROSS BUILDING DEPARTMENT MAY ORDER THAT ANY WORK STOP IMMEDIATELY IF IT IS PERFORMED CONTRARY TO CBC APPENDIX J, CITY OF ROSS CODE AND REGULATIONS, THE APPROVED PLANS AND SPECIFICATIONS, PERMIT CONDITIONS, OR ANY WORK THAT HAS BECOME HAZARDOUS TO PROPERTY OR THE PUBLIC.
- ISSUANCE OF A GRADING/DRAINAGE PERMIT BY TOWN OF ROSS DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK ON THESE PLANS. FAILURE TO OBTAIN ALL REQUIRED PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
- EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY STORM WATER. IF EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE ARE LOCATED IN CITY RIGHT-OF-WAY AND NEED MAINTENANCE, CONTACT TOWN OF ROSS DEPARTMENT OF PUBLIC WORKS AT (415) 453-1453 FOR FURTHER ASSISTANCE. IN ANY EVENT, THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A.), TOLL FREE AT 1-800-642-2444, AT LEAST TWO WORKING DAYS BUT NOT MORE THAN 14 CALENDAR DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY THEIR LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A., THE UTILITY OWNER, AND/OR THE ENGINEER OF RECORD IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE, AND CABLE/TV. IF PRACTICAL, THE EXCAVATOR SHALL DELINEATE WITH WHITE PAINT OR OTHER SUITABLE MARKINGS THE AREA TO BE EXCAVATED.
- IN THE EVENT CULTURAL RESOURCES (I.E., HISTORICAL, ARCHAEOLOGICAL, AND PALEONTOLOGICAL RESOURCES, AND HUMAN REMAINS) ARE DISCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL IMMEDIATELY BE HALTED WITHIN THE VICINITY OF THE FIND. THE NORTHWEST INFORMATION CENTER SHALL BE NOTIFIED AT (707) 564-0890. A QUALIFIED ARCHEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL MITIGATION MAY BE REQUIRED BY THE TOWN OF ROSS PER THE ARCHEOLOGIST'S RECOMMENDATIONS. IF HUMAN BURIALS OR HUMAN REMAINS ARE ENCOUNTERED, THE CONTRACTOR SHALL ALSO NOTIFY THE COUNTY CORONER AT (415) 499-6043.
- SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS, OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR FURTHER INSTRUCTION.
- RETAINING WALLS, UNLESS EXEMPTED, ARE NOT APPROVED UNDER A GRADING PERMIT. A SEPARATE BUILDING PERMIT IS REQUIRED.
- EQUIPMENT SHALL NOT CROSS OR DISTURB CHANNELS OF ACTIVELY FLOWING STREAMS WITHOUT TOWN OF ROSS APPROVED PERMIT AND BEST MANAGEMENT PRACTICES.
- GRADING AND DRAINAGE IMPROVEMENTS SHALL BE SET BACK FROM STREAMS, LAKES, PONDS, AND WETLANDS IN COMPLIANCE WITH CITY REQUIREMENTS. EXISTING VEGETATION SHALL BE RETAINED IN STREAM SETBACK AREAS TO FILTER SOIL AND OTHER POLLUTANTS CARRIED IN STORMWATER.
- EXCESS SOIL SHALL BE REMOVED FROM THE SITE UNLESS DEPICTED TO REMAIN ON SITE PER THE APPROVED PLAN. THE SITE RECEIVING SOIL MAY REQUIRE A GRADING PERMIT UNLESS EXEMPTED.
- CONTOURS, ELEVATIONS, AND SHAPES OF FINISHED SURFACES SHALL BE BLENDED WITH ADJACENT NATURAL TERRAIN TO ACHIEVE A CONSISTENT GRADE AND NATURAL APPEARANCE. THE TOP OF CUT SLOPES SHALL BE ROUNDED OFF TO BLEND WITH THE NATURAL TERRAIN. BORDERS OF CUT SLOPES AND FILLS SHALL BE ROUNDED OFF TO A MINIMUM RADIUS OF 5- FEET TO BLEND WITH THE NATURAL TERRAIN.
- FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIALS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL GREATER THAN 6 INCHES IN ANY DIMENSION SHALL BE INCLUDED IN FILLS EXCEPT WHERE APPROVED BY THE SOILS ENGINEER. FILLS SHALL BE CONSTRUCTED IN LIFTS NOT EXCEEDING 8 INCHES IN DEPTH. COMPLETED FILLS SHALL BE STABLE, WELL-INTEGRATED, AND BONDED TO ADJACENT MATERIALS AND THE MATERIALS ON WHICH THEY REST. FILLS SHALL BE COMPETENT TO SUPPORT ANTICIPATED LOADS AND BE STABLE AT THE DESIGN SLOPES SHOWN ON THE APPROVED PLANS AND SPECIFICATIONS OR AS DIRECTED BY THE SOILS ENGINEER.
- GROUND SURFACES SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL, AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL.
- FILL SHALL NOT BE PLACED ON NATURAL SLOPES STEEPER THAN 2H:1(V) OR AS DICTATED BY THE SOILS ENGINEER.
- FILLS INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D 1557, MODIFIED PROCTOR. A HIGHER COMPACTION PERCENTAGE MAY BE REQUIRED BY THE SOILS ENGINEER.
- FILLS NOT INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED AS FOLLOWS: (1) FILL GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY SPECIFIED BY THE SOILS ENGINEER. (2) FILLS NO GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY NECESSARY FOR THE INTENDED USE OR AS DIRECTED BY THE SOILS ENGINEER.
- ANY DISCREPANCY DISCOVERED BY CONTRACTOR IN THESE PLANS OR ANY FIELD CONDITIONS DISCOVERED BY CONTRACTOR THAT MAY DELAY OR OBSTRUCT THE PROPER COMPLETION OF THE WORK PER THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERY. NOTIFICATION SHALL BE IN WRITING.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH TOWN OF ROSS REGULATIONS, WHICH FOLLOWS BEST MANAGEMENT PRACTICES (BMPs) AS SPECIFIED IN THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) MANUAL.
 - THE APPROVED PLANS SHALL CONFORM WITH TOWN OF ROSS EROSION CONTROL REQUIREMENTS.
 - THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK ORDER.
 - IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
- RAINY SEASON OPERATIONS**
- THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 1 - APRIL 30). CONSTRUCTION GRADING AND DRAINAGE IMPROVEMENTS SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH MARIN COUNTY STANDARDS. STORM WATER BMPs REFERENCED OR DETAILED IN THE PERMIT AUTHORITY'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES.
 - THE AREA OF ERODIBLE LAND EXPOSED AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE.
 - AGRICULTURAL GRADING AND DRAINAGE IMPROVEMENTS, AND INITIAL LAND PREPARATION WORK FOR VINEYARD AND ORCHARD PLANTING, SHALL BE PERMITTED DURING THE RAINY SEASON ONLY FROM APRIL 1 TO APRIL 15, AND ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH MARIN COUNTY CODE AND REGULATIONS.
- YEAR ROUND REQUIREMENTS**
- DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS A CHANCE OF RAIN OF 30% OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMPs REFERENCED OR DETAILED IN PRMD'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES. AT ALL OTHER TIMES, BMPs SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
 - EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
 - THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT IS TO REMAIN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING, FENCING, OR OTHER MEASURES.
 - CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
 - DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.
 - ENTRANCES(S) TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY RIGHT-OF-WAY, SUCH AS ROADWAYS AND SIDEWALKS, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DUST, SILT, AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AT THE END OF EACH WORKING DAY OR MORE OFTEN AS NECESSARY.
 - ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS. TEMPORARY OR PERMANENT VEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE REVEGETATED OR LANDSCAPING SHALL BE INSTALLED.
 - WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES, SEDIMENT CONTROL DEVICES SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEYED INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.
 - HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE, AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBERS IS ACCEPTABLE.
- APPLICATIONS SHALL BE BROADCAST MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE MECHANICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.
- | MATERIALS
SEED MIX | APPLICATION RATE (POUNDS PER ACRE) |
|---|------------------------------------|
| <i>Bromus mollis</i> (BLANDO BROME) | 40 |
| <i>Trifolium pratense</i> (HYKON ROSE CLOVER) | 20 |
| FERTILIZER | |
| 16-20-0 & 15% SULPHUR | 500 |
| MULCH | |
| STRAW | 4000 |
| HYDRAULIC STABILIZING* | |
| M-BINDER OR SENTINEL EQUIVALENT MATERIAL | 75-100 PER MANUFACTURER |
| *NON-ASPHALTIC, DERIVED FROM PLANTS | |
- DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
 - STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
 - ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY ERODIVE STORM WATER FLOW.
 - SOIL, MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
 - SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.
 - A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL.
 - PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
 - TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED DURING CONSTRUCTION ACTIVITIES TO PREVENT THE DISCHARGE OF POLLUTANTS.
 - APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

**GRADING AND DRAINAGE PLANS
FOR
40 UPPER RD - POOL**
APN 073-071-08
40 UPPER RD
ROSS, CA



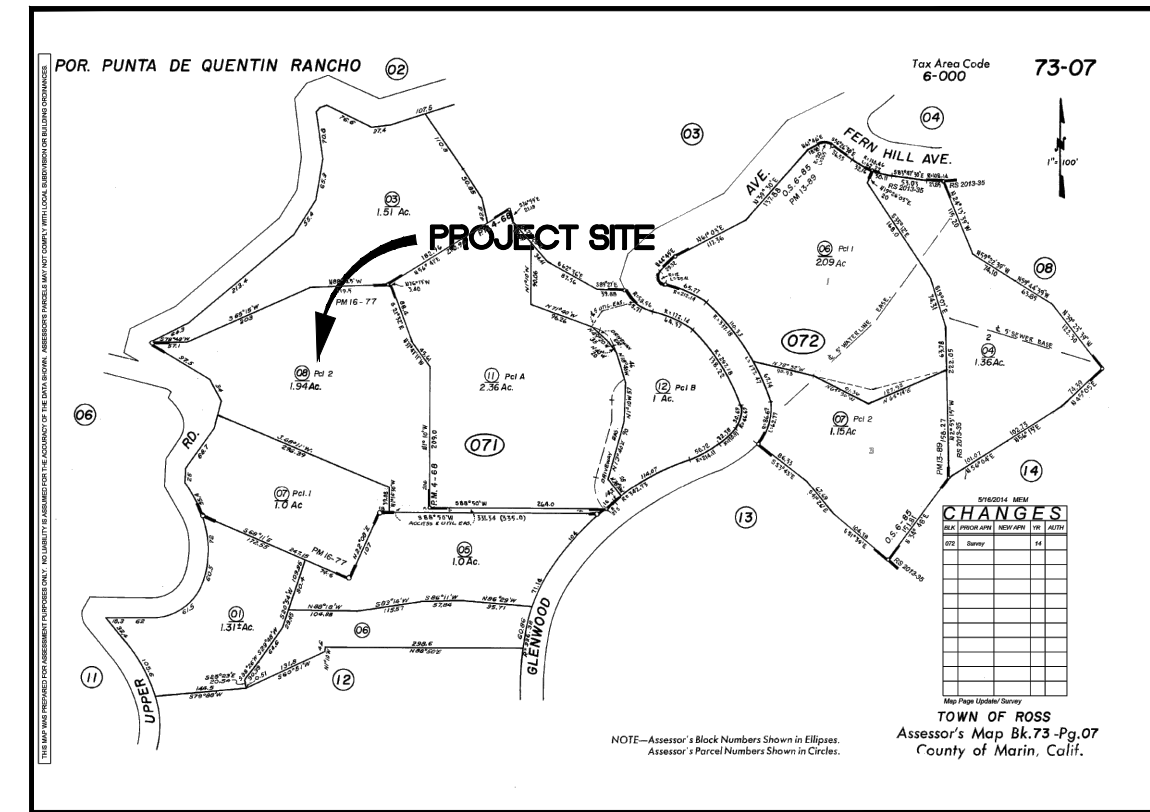
LOCATION MAP

OWNER

PAMELA SHER
PO BOX 1307
ROSS, CA 94957
(415) 377-7743

CONTACT

MUNSELLE CIVIL ENGINEERING
ATTN: DAN HUGHES
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(707)-395-0968



AP MAP

INDEX OF DRAWINGS

- C1 COVER SHEET
- C2 OVERALL SITE PLAN
- C3 GRADING PLAN
- C4 DRAINAGE PLAN
- C5 DETAILS

PROJECT DESCRIPTION

LANDSCAPE IMPROVEMENTS AND AN INFINITY EDGE POOL WITH ASSOCIATED RETAINING WALLS AND DRAINAGE IMPROVEMENTS.

CONSTRUCTION SCHEDULE

TO BE DETERMINED

SURVEY NOTES

- TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY DAVID HARP & ASSOCIATES, DATED APRIL 2, 2019.
- SPOT ELEVATIONS AND TWO FOOT CONTOURS SHOWN ON THE SURVEY ARE BASED ON AN ASSUMED VERTICAL DATUM AND THE ELEVATION OF 160.0 FT PLACED ON THE MAIN ENTRY DOOR, AS SHOWN, AND LABELED 'SITE BENCHMARK'.
- NO UNDERGROUND UTILITIES, OR IRRIGATION AND WATER SUPPLY FACILITIES ARE SHOWN ON THIS SURVEY.
- BOUNDARY LINES SHOWN ARE PER THE PARCEL MAP 16 PM 77

ABBREVIATIONS/LEGEND

AB	AGGREGATE BASE	PDE	PRIVATE STORM DRAIN EASEMENT	---	PROPERTY LINE
AC	ASPHALT CONCRETE	PIV	POST INDICATOR VALVE	---	NEIGHBORING PROPERTY LINE
ANG	ANGLE	POC	POINT OF CONNECTION	---	CENTERLINE
BC	BEGIN CURVE	PSE	PRIVATE SEWER EASEMENT	---	BUILDING LINE
BD	BLOW-OFF	PT	POINT OF TANGENCY	---	GRAVEL DRIVEWAY
BSL	BUILDING SETBACK LINE	PUE	PUBLIC UTILITY EASEMENT	---	EDGE OF PAVING
BSW	BACK OF SIDEWALK	PVC	POLYVINYLCHLORIDE PIPE	---	CONCRETE CURB & GUTTER
BVC	BEGIN VERTICAL CURVE	PVT	PRIVATE	---	STRAW WATTLE
BW	BOTTOM OF RETAINING WALL	R	RADIUS	---	SANITARY SEWER LINE & SIZE
CB	CATCH BASIN	R/W	RIGHT OF WAY	---	EXISTING OVER HEAD WIRES
CCNCR	CONCRETE	RCP	REINFORCED CONCRETE PIPE	---	UNDERGROUND GAS LINE
CPP	CORRUGATED PLASTIC PIPE	RET	RETAINING WALL	---	DRIP LINE OF TREE OR BRUSH LINE
CR	CURB RETURN	RPBP	REDUCED PRESSURE BACK FLOW PREVENTER	---	SURFACE FLOW DIRECTION
DI	DIP	S.A.D.	SEE ARCHITECTURAL DESIGN	---	PROPOSED STORM DRAIN
DWY	DRIVEWAY	S	SLOPE	---	PROPOSED ROOF DRAIN
EC	END CURVE	SD	STORM DRAIN	---	
EG	EXISTING GROUND	SDDC	STORM DRAIN CLEANOUT	---	
ELEV	ELEVATION	SDDI	STORM DRAIN DROP INLET	---	
EMT	EASEMENT	SDE	PUBLIC STORM DRAIN EASEMENT	---	
EVC	END VERTICAL CURVE	SDMH	STORM DRAIN MANHOLE	---	
(E),EX.	EXISTING	S.L.D	SEE LANDSCAPE DESIGN	---	
FC	FACE OF CURB	S.S.D.	SEE STRUCTURAL DESIGN	---	
FG	FINISH GRADE	SS	SANITARY SEWER	---	
FS	FINISH SURFACE	SSCO	SANITARY SEWER CLEANOUT	---	
GB	GRADE BREAK	SSMH	SANITARY SEWER MANHOLE	---	
HDPE	HIGH DENSITY POLYETHYLENE	STA	STATION	---	
HT	HEIGHT	STD	STANDARD	---	
MDN	MARIN CO. SEWER DISTRICT	SW	SIDEWALK	---	
MMWD	MARIN MUNICIPAL WATER DISTRICT	SWE	SIDEWALK EASEMENT	---	
PAE	STANDARD CITY MONUMENT PRIVATE ACCESS, MAINTENANCE, DRAINAGE, EASEMENT	TC	TOP OF CURB	---	
PC	POINT OF CURVATURE	TG	TOP OF GRATE	---	
PCC	PORTLAND CEMENT CONCRETE	TW	TOP OF RETAINING WALL	---	
		TYP	TYPICAL	---	
		UNO	UNLESS NOTED OTHERWISE	---	
		V	VERTICAL CURVE	---	
		WL	WATER LINE	---	
		WM	WATER METER	---	
		WS	WATER SERVICE	---	
		VC	VERTICAL CURVE	---	

PRE- AND POST-CONSTRUCTION IMPERVIOUS AREAS	
PAVERS/CONCRETE (PROPOSED)	1,300 SF
POOL (PROPOSED)	840 SF
ROOF (EXISTING), IN LIEU OF POOL IMPERVIOUS AREA	818 SF
PROPOSED NEW/REPLACED IMPERVIOUS AREA = 2,140 SF	
PROPOSED NEW BIORETENTION AREA = 172 SF (8% OF NEW IMPERVIOUS AREA)	

*NOTE: POOL IMPERVIOUS AREA IS NOT DRAINING TO BIORETENTION. INSTEAD, A ROOF DOWNSPOUT COVERING AN EQUAL IMPERVIOUS AREA IS BEING RE-DIRECTED TO BIORETENTION.

REVISION	DESCRIPTION	BY	DATE

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DANIEL JOHN HUGHES
REGISTERED PROFESSIONAL ENGINEER
No. 60225
STATE OF CALIFORNIA

DANIEL JOHN HUGHES
DATE: OCT 8, 2024
PCE 60225

**40 UPPER RD - POOL
COVER SHEET**
APN 073-071-08
40 UPPER RD
ROSS, CA

OCT 8, 2024

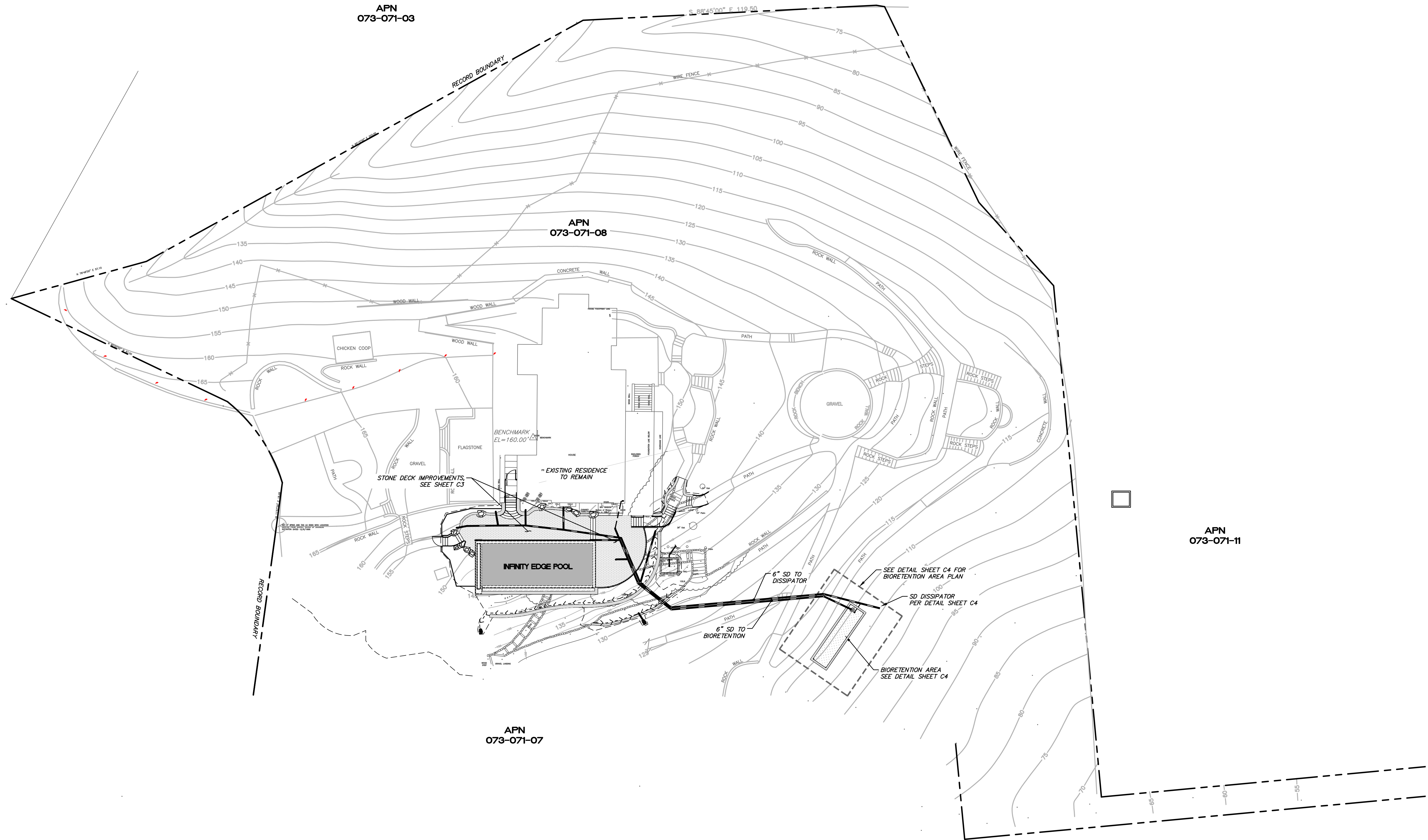
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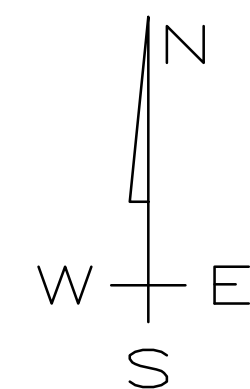
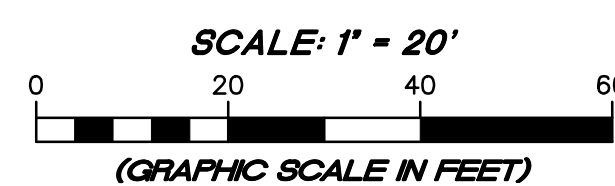
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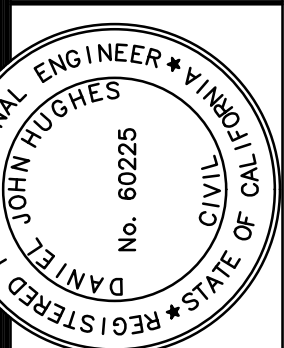


OVERALL SITE PLAN



REVISION	DESCRIPTION	BY	DATE

MUNSELLE CIVIL ENGINEERING
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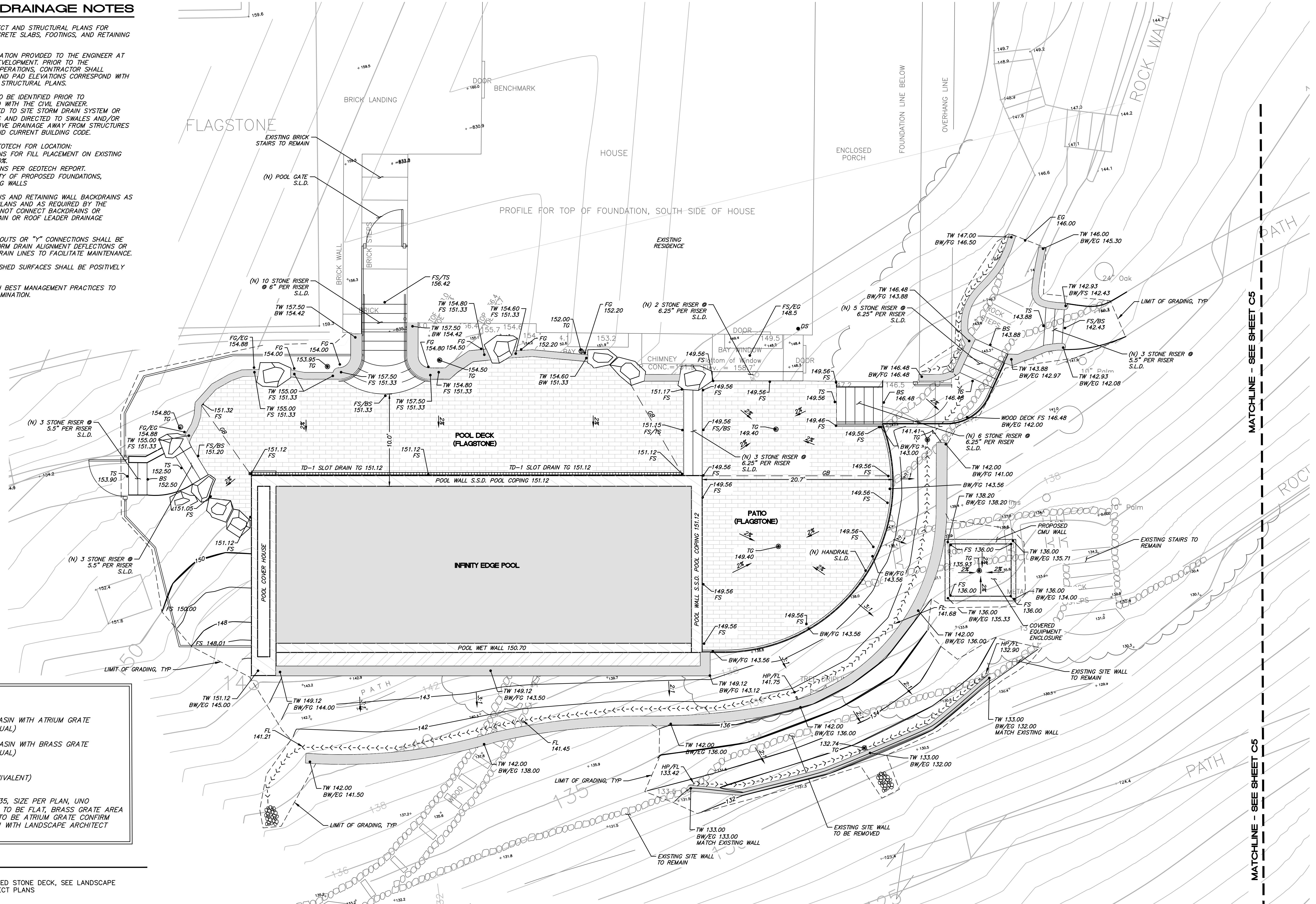
**40 UPPER RD - POOL
 OVERALL SITE PLAN**
 APN 073-071-08
 40 UPPER RD
 ROSS, CA

OCT 8, 2024
 JOB NO.
 192-23
 SHEET NO.

C2
 OF 5 SHEETS

GRADING AND DRAINAGE NOTES

- REFER TO LANDSCAPE ARCHITECT AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS, FOOTINGS, AND RETAINING WALLS.
- ELEVATIONS BASED ON INFORMATION PROVIDED TO THE ENGINEER AT THE TIME OF GRADING PLAN DEVELOPMENT. PRIOR TO THE COMMENCEMENT OF GRADING OPERATIONS, CONTRACTOR SHALL CONFIRM THAT FINISH FLOOR AND PAD ELEVATIONS CORRESPOND WITH CURRENT ARCHITECTURAL AND STRUCTURAL PLANS.
- DOWNSPOUT LOCATIONS ARE TO BE IDENTIFIED PRIOR TO CONSTRUCTION AND CONFIRMED WITH THE CIVIL ENGINEER. DOWNSPOUTS TO BE CONNECTED TO SITE STORM DRAIN SYSTEM OR OUTLETED TO SPLASH BLOCKS AND DIRECTED TO SWALES AND/OR LANDSCAPE AREAS WITH POSITIVE DRAINAGE AWAY FROM STRUCTURES PER GEOTECHNICAL REPORT AND CURRENT BUILDING CODE.
- NOT SHOWN, CONSULT WITH GEOTECH FOR LOCATION:
 - GEOTECH RECOMMENDATIONS FOR FILL PLACEMENT ON EXISTING SLOPES IN EXCESS OF 20%.
 - BACKDRAINS AND SUBDRAINS PER GEOTECH REPORT.
 - OVEREXCAVATION IN VICINITY OF PROPOSED FOUNDATIONS, PAVEMENTS, AND RETAINING WALLS
- INSTALL FOUNDATION SUBDRAINS AND RETAINING WALL BACKDRAINS AS SHOWN ON THE STRUCTURAL PLANS AND AS REQUIRED BY THE GEOTECHNICAL ENGINEER. DO NOT CONNECT BACKDRAINS OR SUBDRAINS TO THE STORM DRAIN OR ROOF LEADER DRAINAGE SYSTEMS.
- DRAINAGE STRUCTURES, CLEANOUTS OR "Y" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
- ALL PAVED AND UNPAVED FINISHED SURFACES SHALL BE POSITIVELY DRAINED.
- ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.



DRAINAGE SCHEDULE

- DI-1: 6" NDS SPEED-BASIN WITH ATRIUM GRATE (OR APPROVED EQUAL)
- DI-2: 6" NDS SPEED-BASIN WITH BRASS GRATE (OR APPROVED EQUAL)
- TD-1: ACO BRICKSLOT (OR APPROVED EQUIVALENT)

ALL STORM DRAIN TO BE SDR 35, SIZE PER PLAN, UNO AREA DRAINS IN PAVEMENT AREAS TO BE FLAT, BRASS GRATE AREA DRAINS IN LANDSCAPE AREAS TO BE ATRIUM GRATE. CONFIRM AREA DRAINS GRATE SELECTION WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION

LEGEND

- PROPOSED STONE DECK, SEE LANDSCAPE ARCHITECT PLANS
- PROPOSED WALL, SEE LANDSCAPE ARCHITECT PLANS
- PROPOSED INFINITY EDGE POOL, SEE LANDSCAPE ARCHITECT PLANS
- PROPOSED POOL WALL, SEE LANDSCAPE ARCHITECT PLANS
- PROPOSED CONCRETE, SEE LANDSCAPE ARCHITECT PLANS

GRADING PLAN

SCALE: 1" = 5'

(GRAPHIC SCALE IN FEET)

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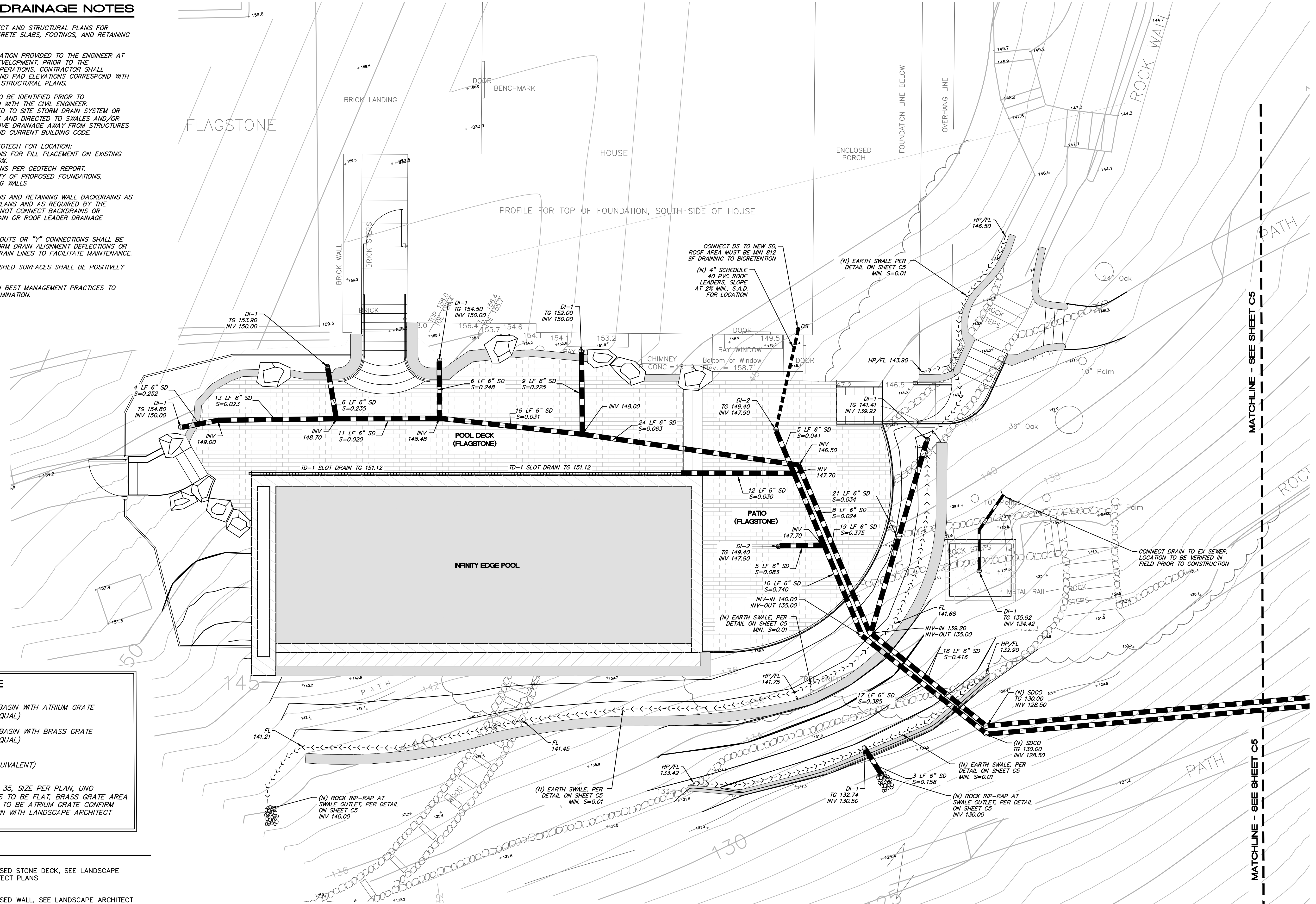
40 UPPER RD - POOL GRADING PLAN
 APR 07/2024
 40 UPPER RD
 ROSS, CA

OCT 8, 2024
 JOB NO. 192-23
 SHEET NO. **C3**
 OF 5 SHEETS

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 - OVEREXCAVATION IN VICINITY OF PROPOSED FOUNDATIONS, PAVEMENTS, AND RETAINING WALLS.
- INSTALL FOUNDATION SUBDRAINS AND RETAINING WALL BACKDRAINS AS SHOWN ON THE STRUCTURAL PLANS AND AS REQUIRED BY THE GEOTECHNICAL ENGINEER. DO NOT CONNECT BACKDRAINS OR SUBDRAINS TO THE STORM DRAIN OR ROOF LEADER DRAINAGE SYSTEMS.
- DRAINAGE STRUCTURES, CLEANOUTS OR "Y" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
- ALL PAVED AND UNPAVED FINISHED SURFACES SHALL BE POSITIVELY DRAINED.
- ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.



DRAINAGE SCHEDULE

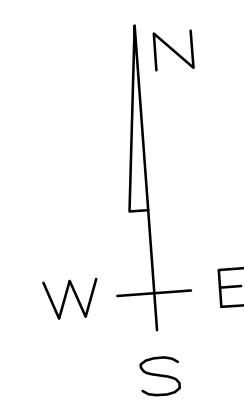
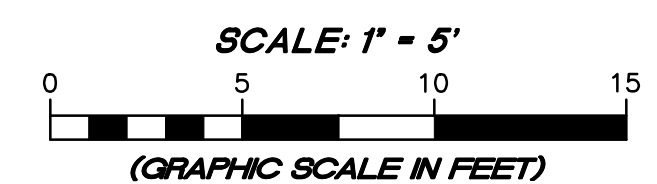
- DI-1 6" NDS SPEED-BASIN WITH ATRIUM GRATE (OR APPROVED EQUAL)
- DI-2 6" NDS SPEED-BASIN WITH BRASS GRATE (OR APPROVED EQUAL)
- TD-1: ACO BRICKSLOT (OR APPROVED EQUIVALENT)

ALL STORM DRAIN TO BE SDR 35, SIZE PER PLAN, UNO AREA DRAINS IN PAVER AREAS TO BE FLAT, BRASS GRATE AREA DRAINS IN LANDSCAPE AREAS TO BE ATRIUM GRATE CONFIRM AREA DRAINS GRATE SELECTION WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION

LEGEND

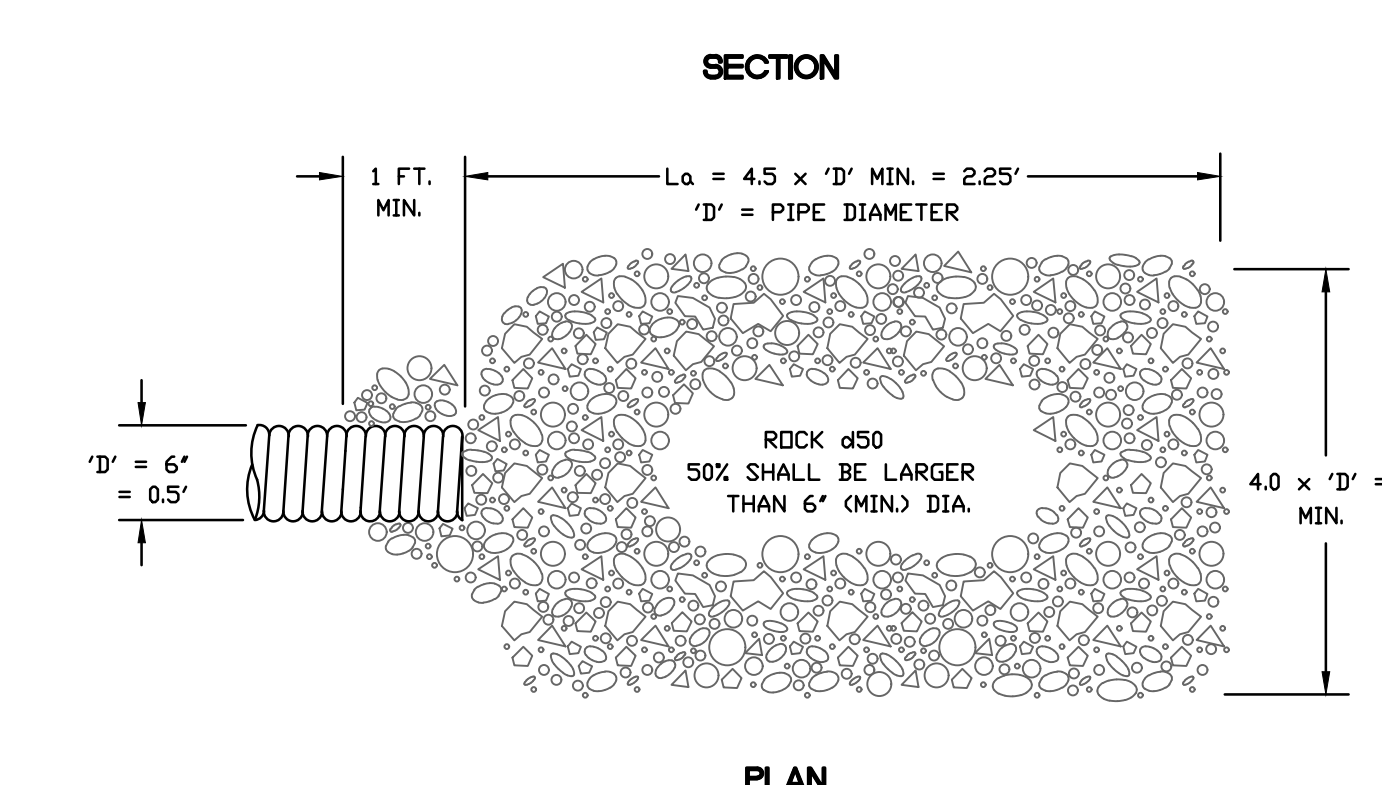
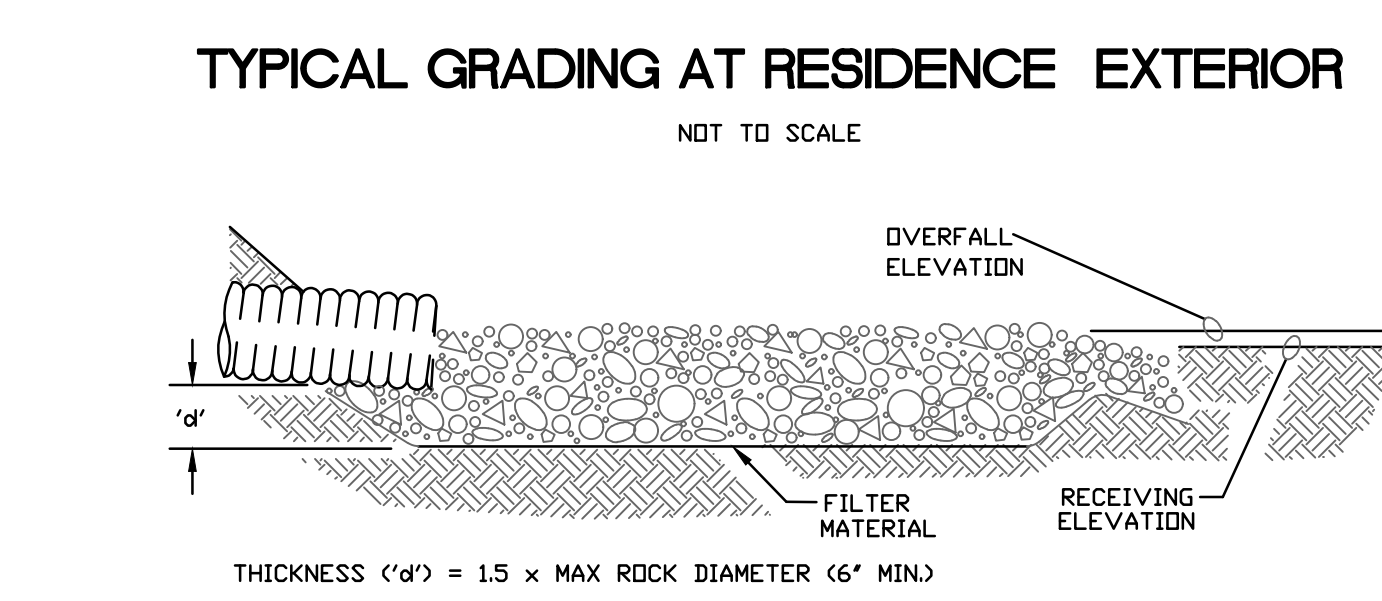
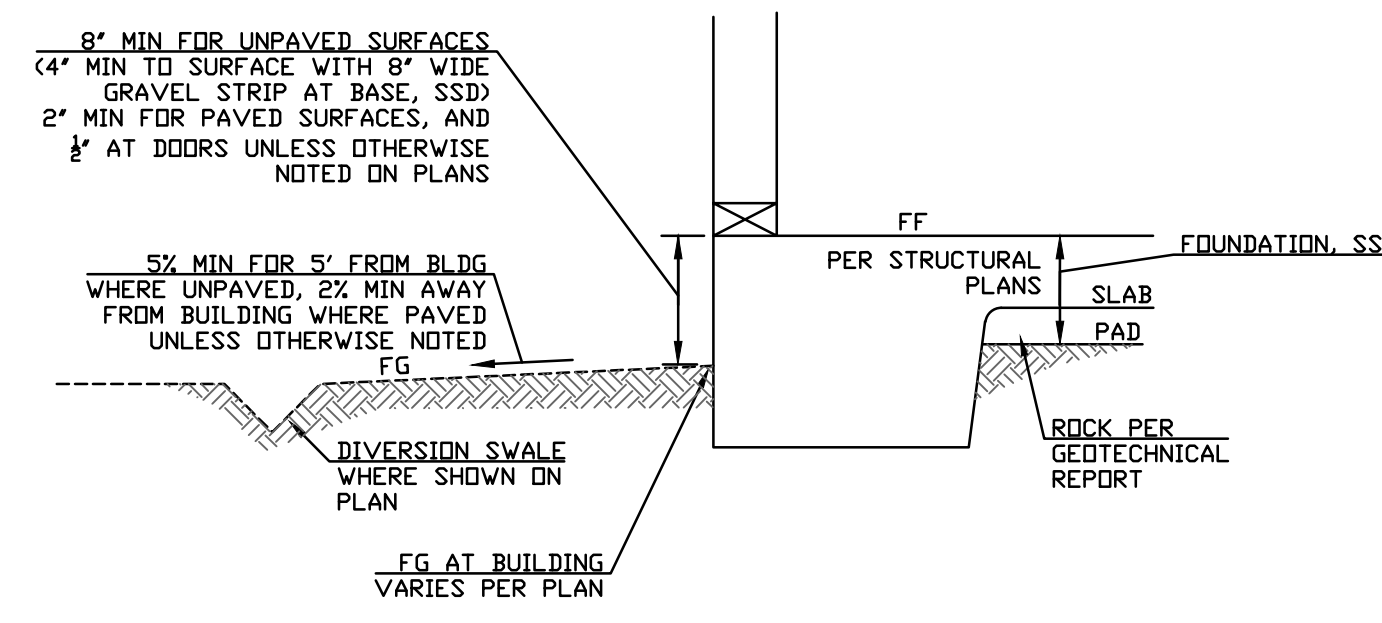
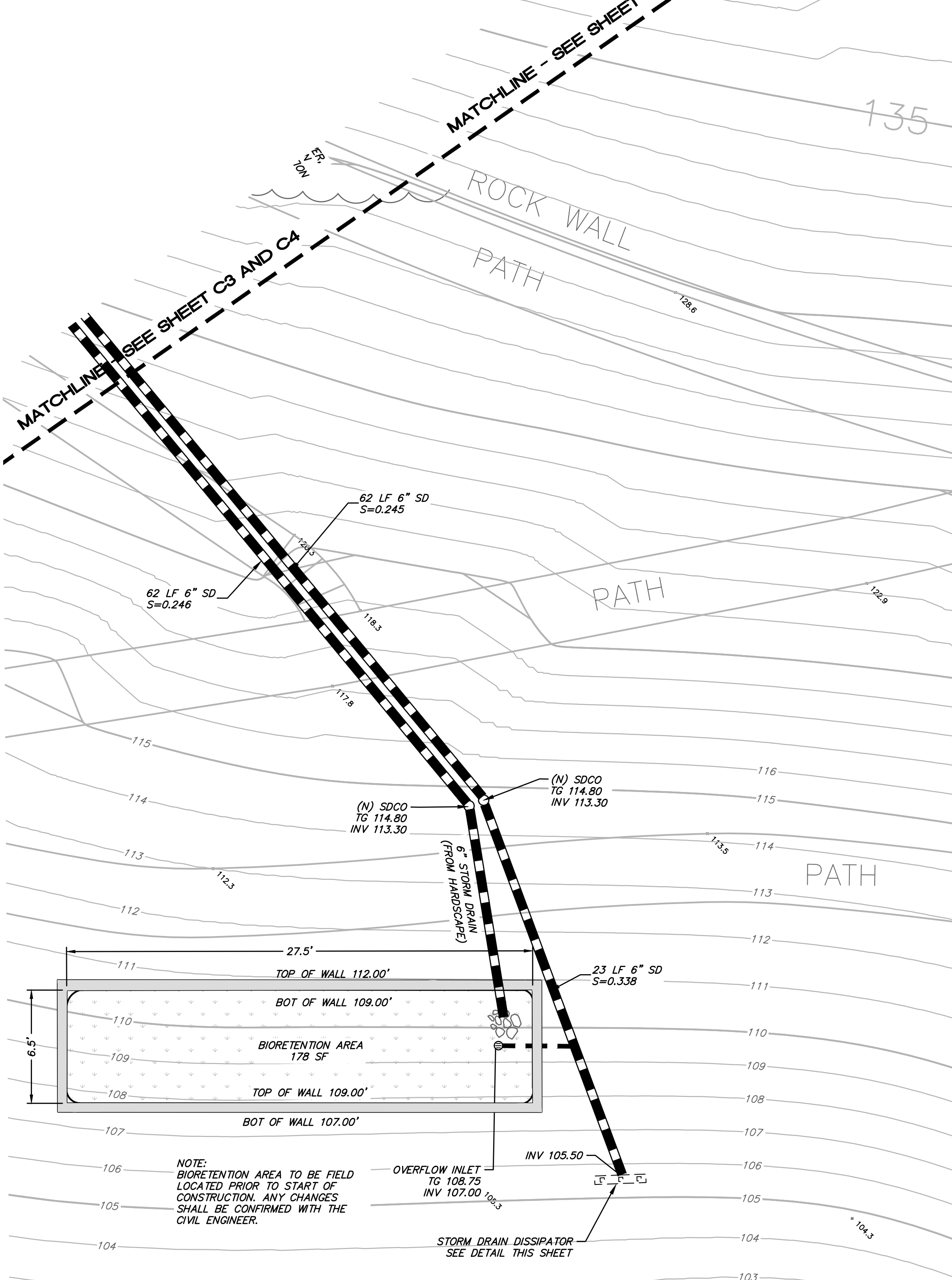
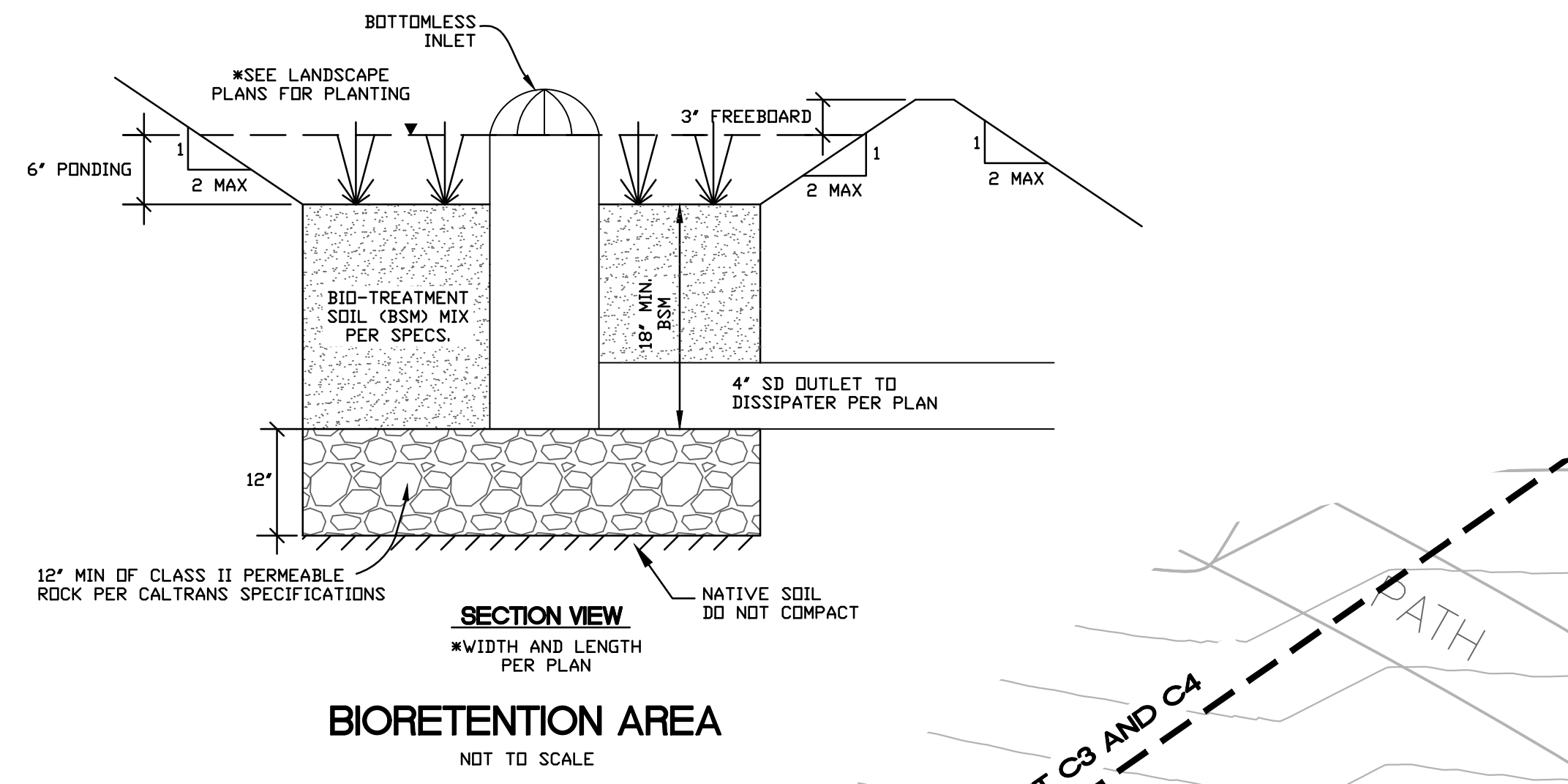
- PROPOSED STONE DECK, SEE LANDSCAPE ARCHITECT PLANS
- PROPOSED WALL, SEE LANDSCAPE ARCHITECT PLANS
- PROPOSED INFINITY EDGE POOL, SEE LANDSCAPE ARCHITECT PLANS
- PROPOSED POOL WALL, SEE LANDSCAPE ARCHITECT PLANS
- PROPOSED CONCRETE, SEE LANDSCAPE ARCHITECT PLANS

DRAINAGE PLAN

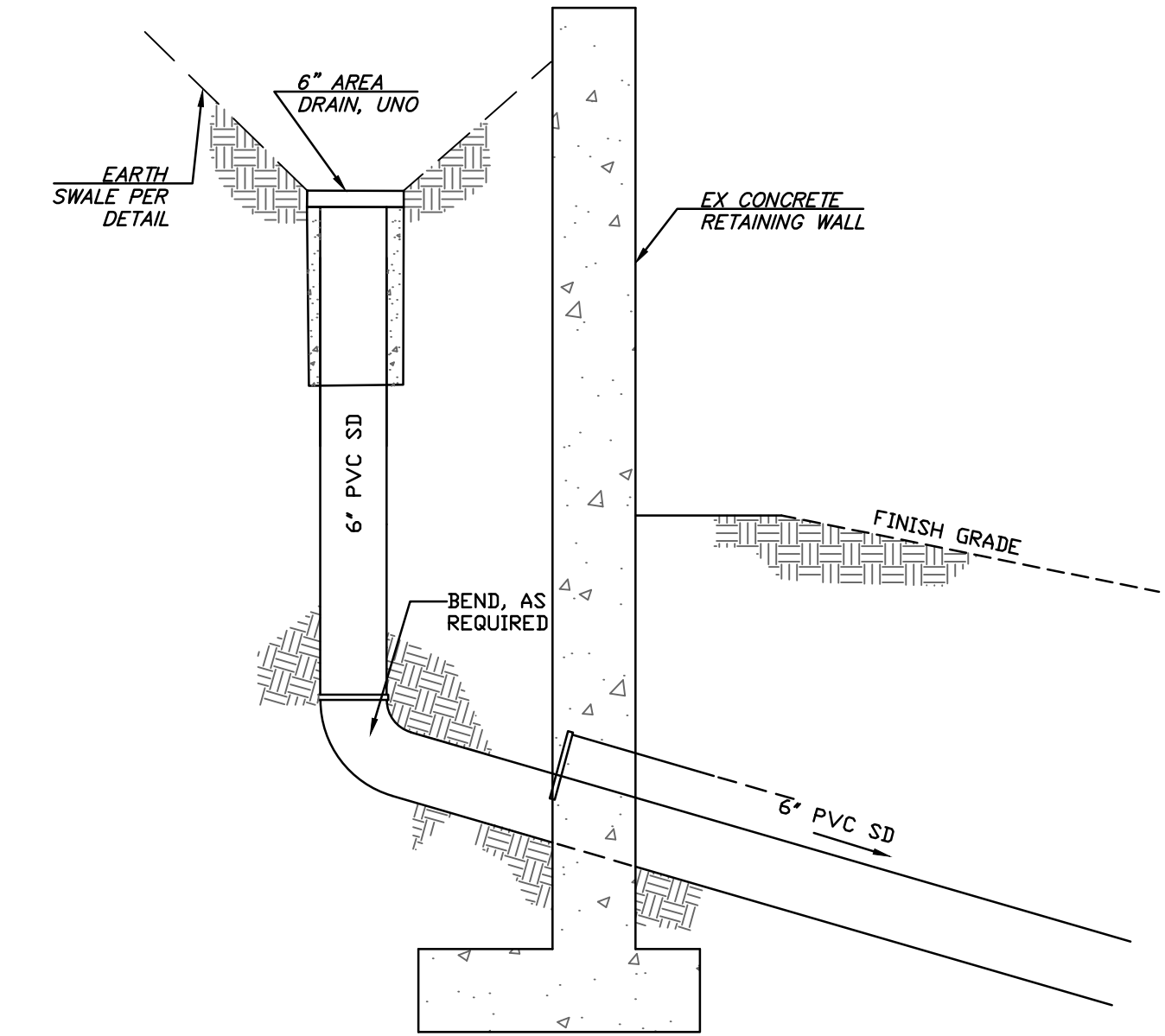
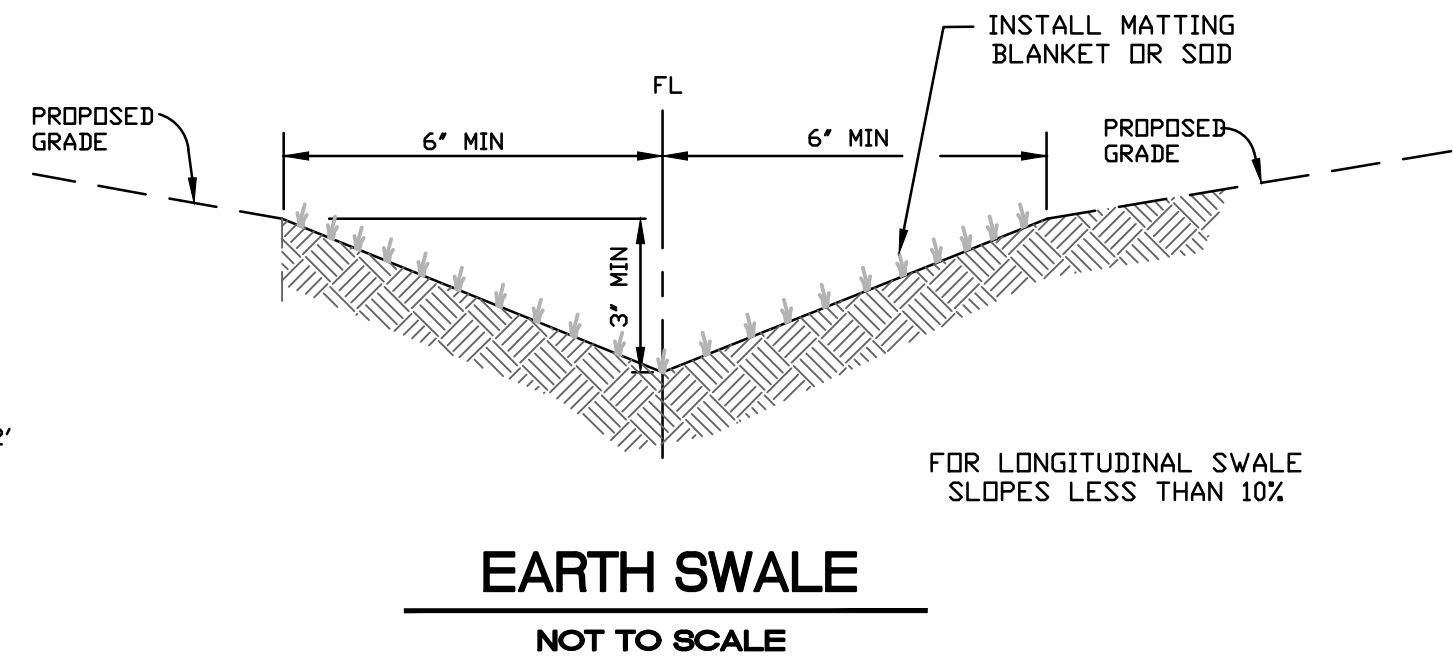
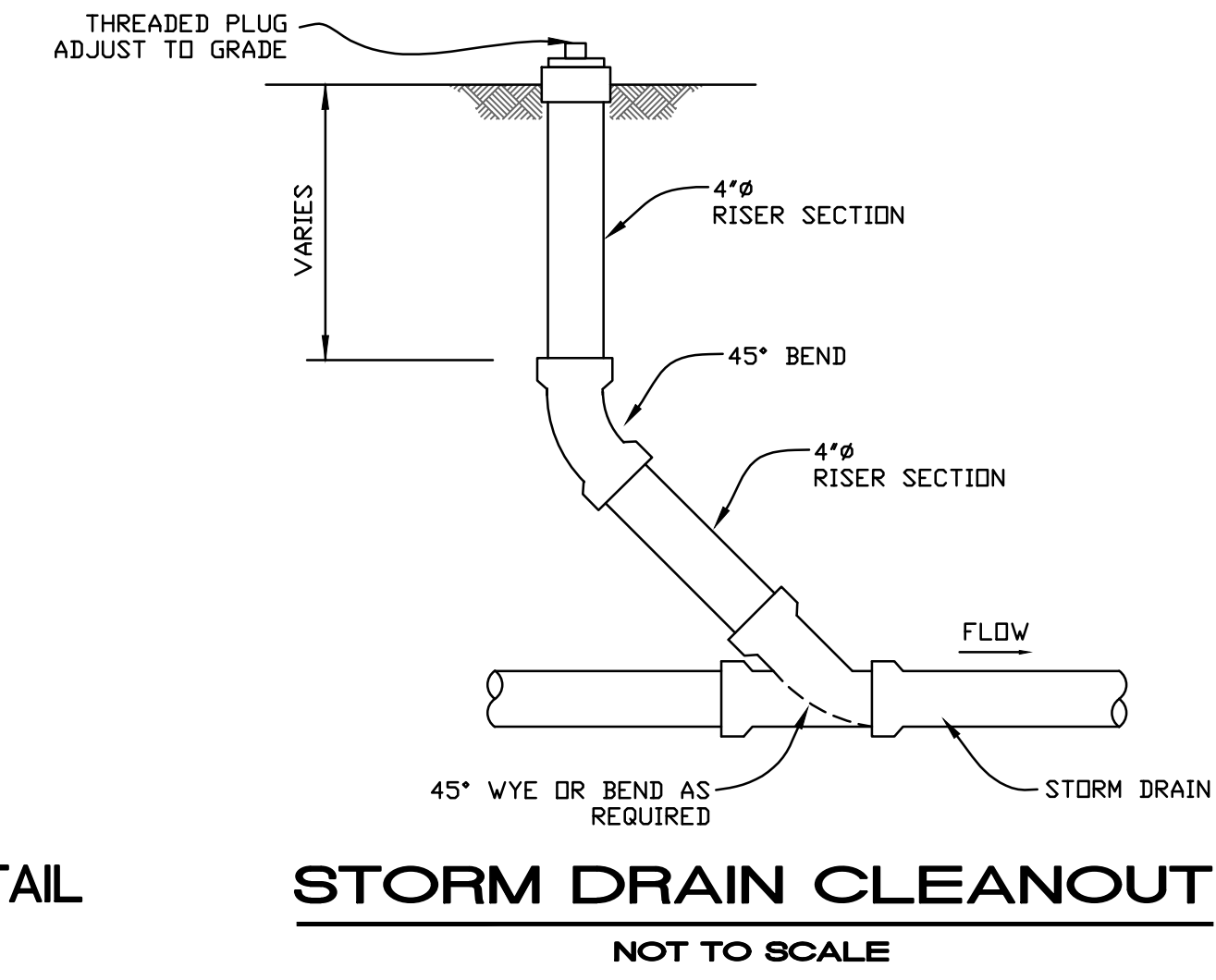
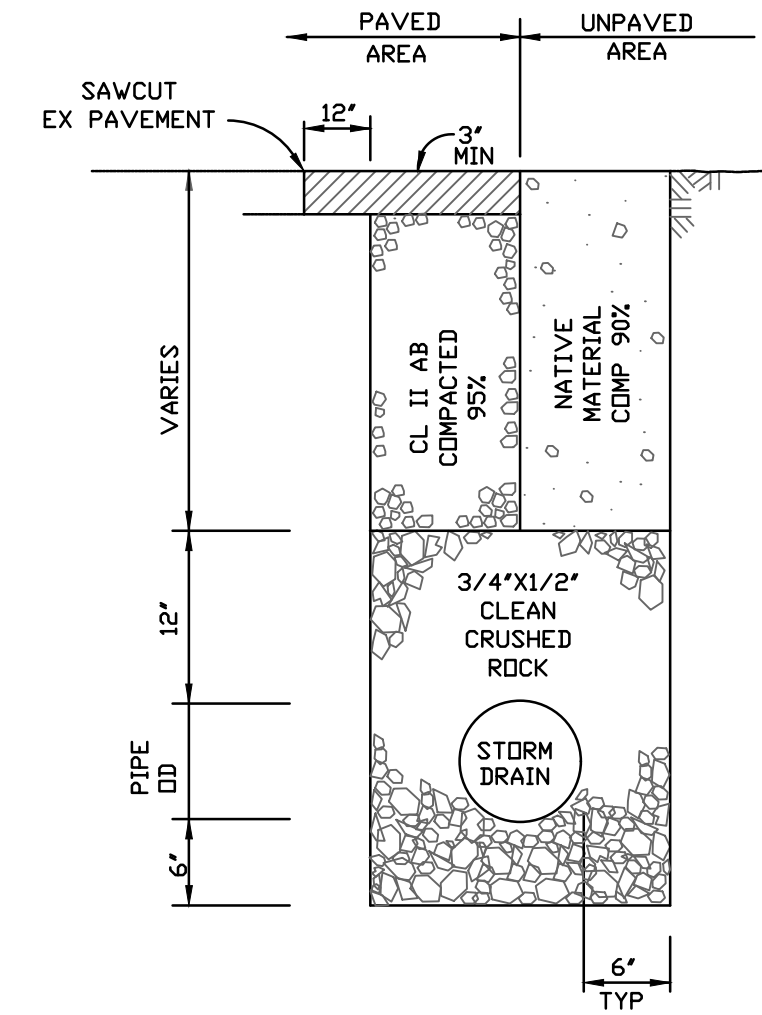
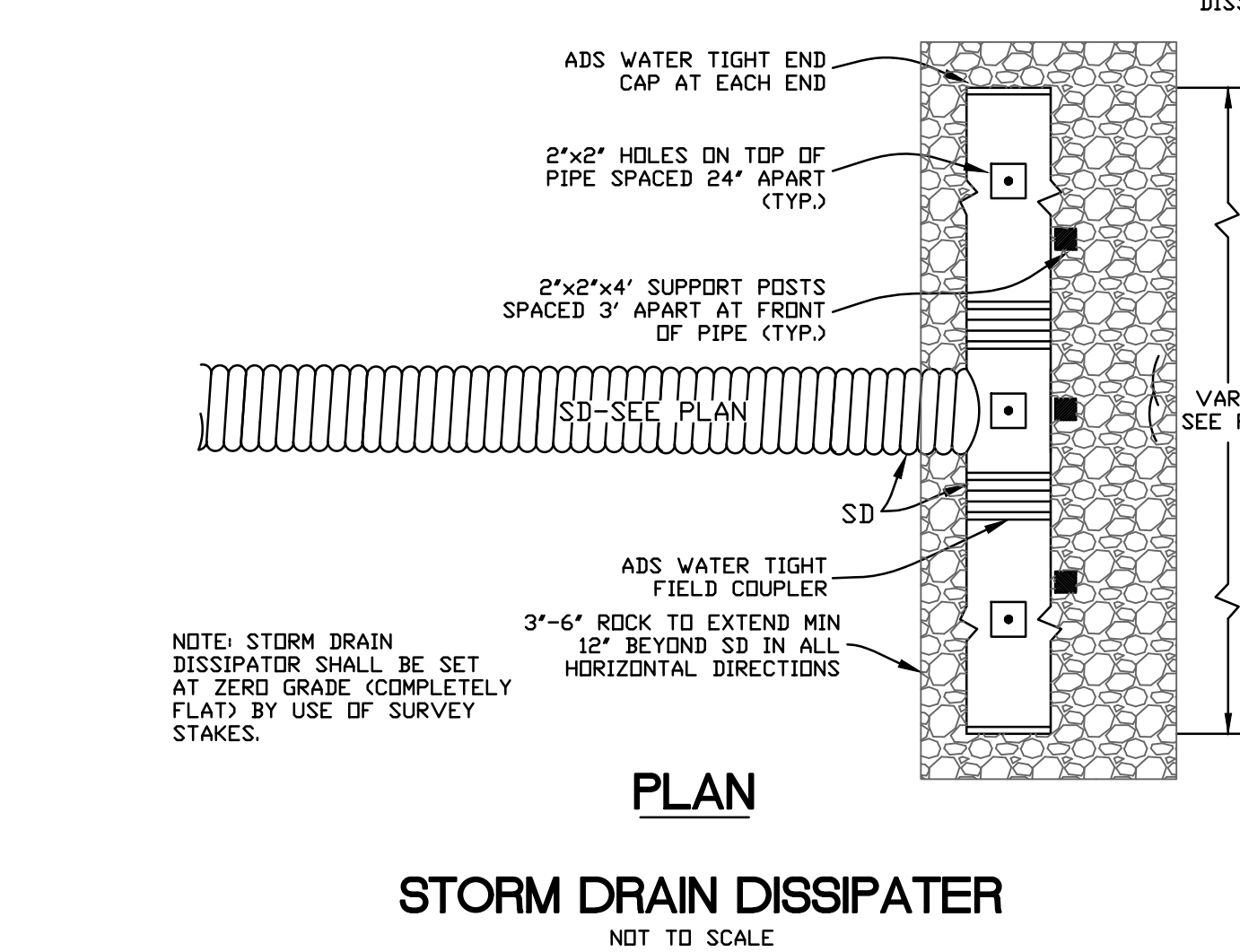
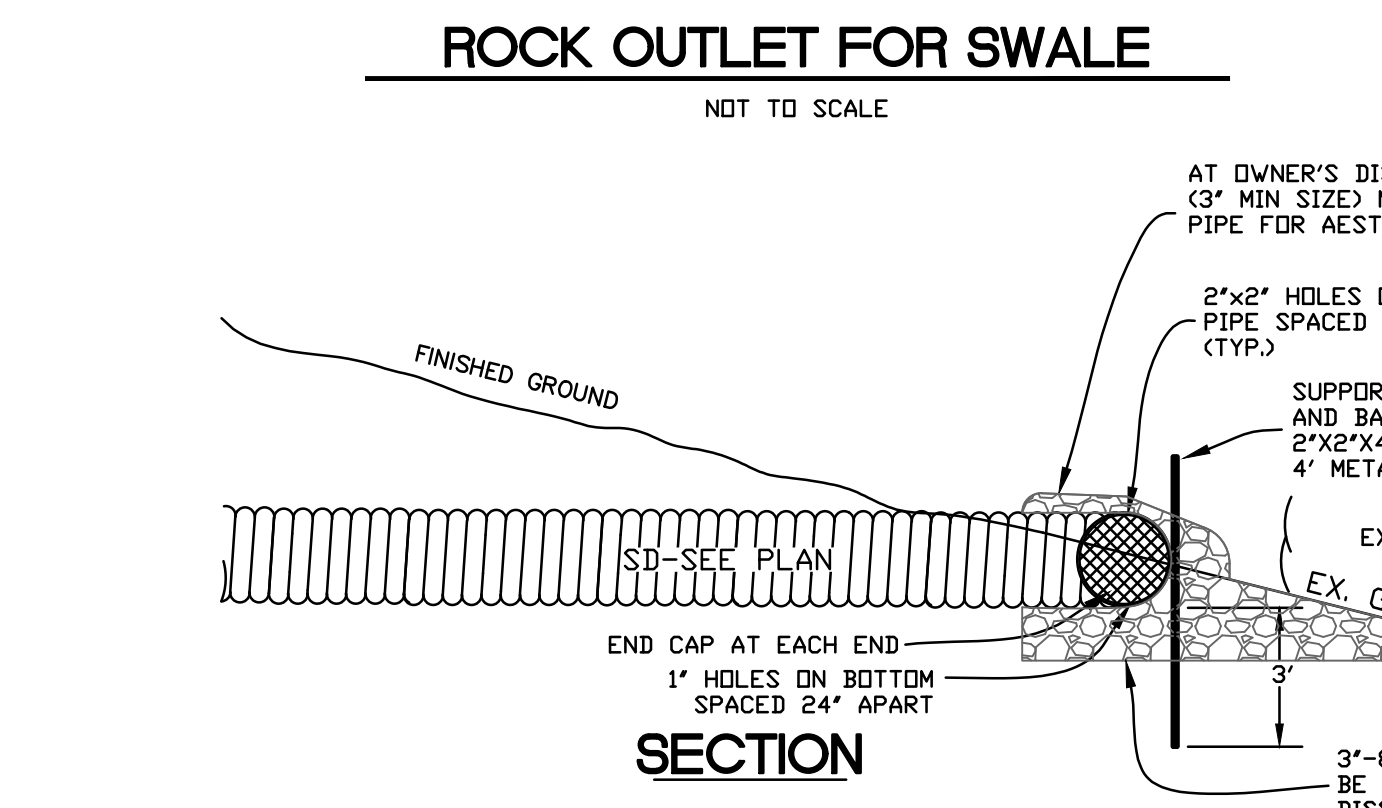


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REVISION	DESCRIPTION	BY	DATE
MUNSELLE CIVIL ENGINEERING CIVIL ENGINEERING & SURVEYING & PLANNING & CONST. MANAGEMENT 515 CENTER STREET HEALDSBURG, CA 95448 (707) 395-0868			
DANIEL JOHN HUGHES DATE PCE 60225			
40 UPPER RD - POOL DRAINAGE PLAN APR 07-07-08 40 UPPER RD ROSS, CA			
OCT 8, 2024			
JOB NO. 192-23			
SHEET NO. C4			
OF 5 SHEETS			



NOTES:
1. 'La' = LENGTH OF APRON. DISTANCE 'La' SHALL BE OF SUFFICIENT LENGTH TO DISSIPATE ENERGY.
2. APRON SHALL BE SET AT A ZERO GRADE AND ALIGNED STRAIGHT.
3. FILTER MATERIAL SHALL BE FILTER FABRIC OR 6" THICK (MIN) GRADED GRAVEL LAYER.



REVISION	DESCRIPTION	BY	DATE

MUNSELLE CIVIL ENGINEERING
CIVIL ENGINEERING • SURVEYING •
PLANNING • CONST. MANAGEMENT •
515 CENTER STREET
HEALDSBURG, CA 95448
(707) 362-0868



Daniel J. Hughes
DANIEL JOHN HUGHES DATE
PCE 60225

40 UPPER RD - POOL DETAILS
APN 078-071-08
40 UPPER RD
ROSS, CA

OCT 8, 2024
JOB NO. 192-23
SHEET NO.

C5
OF 5 SHEETS

P:\MCE JOBS\2023\192-23 40 UPPER ROAD\DWGS\192-23 POOL GRADING.DWG 10/18/2024 10:14 AM CA

ATTACHMENT 3



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

PLANNING APPLICATION FORM

Type of Application (check all that apply):

- | | |
|---|--|
| <input type="checkbox"/> Advisory Design Review | <input type="checkbox"/> Minor Exception |
| <input type="checkbox"/> Appeals | <input type="checkbox"/> Non-conformity Permit |
| <input type="checkbox"/> Basement and Attics Exception | <input type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Tentative Map |
| <input type="checkbox"/> Demolition Permit | <input type="checkbox"/> Tentative Map Amendment |
| <input checked="" type="checkbox"/> Design Review | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review- Amendment | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Final or Parcel Map | <input type="checkbox"/> Variance |
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zoning Ordinance |
| <input checked="" type="checkbox"/> Hillside Lot Permit | <input type="checkbox"/> Amendment Other: |
| <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Other: |

To Be Completed by Applicant:

Assessor's Parcel No(s): 073-071-08

Project Address: 40 Upper Road

Property Owner: Pamela Sher

Owner Mailing Address (PO Box in Ross): PO 1307

City/State/Zip: Ross Owner's Phone: 415.459.4923

Owner's Email: pam4sher@gmail.com

Applicant: Hsiaochien Chuang

Applicant Mailing Address: 215 7th Ave, #2

City/State/Zip: San Francisco, CA 94118 Applicant's Phone: 415.412.7916

Applicant's Email: hsiaochien@studioh2la.com

Primary point of Contact Email: Owner Buyer Agent Architect

To Be Completed by Town Staff:

Date Received: _____	Planning 5300 _____
Application No.: _____	Tree Permit 5305 _____
Zoning: _____	Fee Program Administration 5315-05 _____
	Record Management 5316-05 _____
	Record Retention 5112-05 _____
	Technology Surcharge 5313-05 _____
Date paid: _____	TOTAL FEES: _____

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SUBDIVISION INFORMATION ONLY

Number of Lots: _____

LOT LINE ADJUSTMENT ONLY

Describe the Proposed Lot Line Adjustment:

Existing Parcel Size(s) *Parcel 1:* _____ *Parcel 2:* _____

Adjusted Parcel Size(s) *Parcel 1:* _____ *Parcel 2:* _____

PARCEL ONE

PARCEL 2

Owners Signature: _____ Owner's Signature: _____

Date: _____ Date: _____

Owner's Name (Please Print): _____ Owner's Name (Please Print): _____

Assessor's Parcel Number: _____ Assessor's Parcel Number: _____

* If there are more than two affected property owners, please attach separate letters of authorization.

REZONING OR TEXT AMENDMENT ONLY

The applicant wishes to amend Section _____ of the Ross Municipal Code Title 18.

The applicant wishes to Rezone parcel _____ from the _____ Zoning District to _____.

GENERAL OR SPECIFIC PLAN AMENDMENT ONLY

Please describe the proposed amendment:

CERTIFICATION AND SIGNATURES

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

Owner's Signature: _____ Date: _____

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge

Owner's Signature: _____ Date: _____

SIGNATURE:

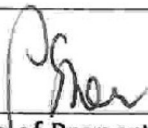
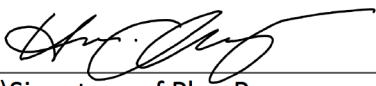
I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

Pamela Sher, California on **10/22/2024**

 
Signature of Property Owner(s) and Applicant(s) Signature of Plan Preparer

Notice of Ordinance/Plan Modifications

- Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Consultant Information

The following information is required for all project consultants.

Landscape Architect

Firm STUDIO H2 landscape Architecture
Project Landscape Architect Hsiaochien Chuang
Mailing Address 215 7th Ave. #2
City San Francisco State CA ZIP 94118
Phone 415.412.7916 Fax _____
Email hsiaochien@studioh2la.com
Town of Ross Business License No. 00301529 Expiration Date 12/31/2024

Civil/ Geotechnical Engineer

Firm MUNSELLE CIVIL ENGINEERING & LAND SURVEYING
Project Engineer DAN HUGHES
Mailing Address 513 CENTER ST.
City HEALDSBURG State CA ZIP 95448
Phone (707) 395-0968 Fax _____
Email dan@munsellecivil.com
Town of Ross Business License No. _____ Expiration Date _____

Arborist

Firm _____
Project Arborist _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Mandatory Findings for Variance Applications

In order for a variance to be granted, the following mandatory findings must be made:

Special Circumstances

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe the special circumstances that prevent conformance to pertinent zoning regulations.**

Substantial Property Rights

That the variance is necessary for the preservation and enjoyment of substantial property rights. **Describe why the project is needed to enjoy substantial property rights.**

1. The Town of Ross requires the applicant to reach out to the neighbors, which should include dates the neighbors were contacted and addresses of the neighbors, any meetings held, and any concerns.

Response: We reached out to the adjoining neighbors, listed below, by sending the design plans, project descriptions, and feedback form for the neighbor to express. Within the month long outreach time, we did not hear neighbor's concerns about the project.

Neighborhood outreach for 40 Upper Road pool project				
Name	Address	Date Contacted	Concerns (if any)	Resolution
Zelaya	49 Glenwood Ave.	5/10/2023		
Patterson	51 Glenwood Ave.	5/10/2023		
Piliero	46 Upper Road	5/10/2023		
Consistent	41 Upper Road	5/10/2023		

ATTACHMENT 4

MINUTES

Meeting of the Ross
Advisory Design Review Group
November 19, 2024, 6:00pm

Video and audio recording of the meeting is available online at the Town's website at:
townofross.org/meetings.

1. 6:00 p.m. Commencement

Chair Kruttschnitt called the meeting to order.

Present: Mark Kruttschnitt, Mark Fritts, Laura Dewar and Stephen Sutro; Roberta Feliciano (Planning and Building Director), Alex Lopez-Vega (Assistant Planner)

Absent: Joey Buckingham

2. Approval of Minutes.

The ADR Group approved the minutes from the October 15, 2024.

3. Open Time for Public Comments

No comments were provided.

4. Planning Applications/Projects

a.	Property Address:	40 Upper Road
	A.P.N.:	073-071-08
	Applicant:	Hsiaochien Chuang
	Property Owner:	Pamela Sher
	Zoning:	R-1:B-A
	General Plan:	VL (Very Low Density)
	Flood Zone:	X (Moderate to Low)

Project Summary: The applicant requests a recommendation to the Town Council for Design Review, and a Hillside Lot Permit. The project proposes to rehabilitate the existing side yard landscaping to include a new infinity swimming pool, raised wooden deck, pool equipment enclosure, terraced patios and stairs, retaining walls, plantings for screening, and exterior light fixtures.

Mark Fritts-

- Appreciates the effort to keep the retaining walls to 6 feet
- Merging the lots is big piece to the puzzle
- Supports the project as designed

Laura Dewar-

- Really nice project

- Likes the location, it's a little more tucked in from the first time it was presented earlier this year
- The materials looked really nice
- Supports the project

Stephen Sutro-

- Supports the project as submitted

Mark Kruttschnitt-

- Recommends approval as designed
- Great project

b.	Property Address:	313 Upper Toyon Drive
	A.P.N.:	072-061-18
	Applicant:	Vlad Lojica
	Property Owner:	Alex Shalavi
	Zoning:	R-1:B-5A
	General Plan:	VL (Very Low Density)
	Flood Zone:	X (Moderate to Low)

Project Summary: The applicant requests a recommendation to the Town Council for Design Review, Hillside Lot Permit, and Variance. The project proposes to construct a 500 square foot open parking deck within the side yard setback at the existing single-family residential property. A Variance is required to construct any structure within the side yard setback.

Mark Kruttschnitt-

- At first the design was questionable (concrete, stilts, and in the setback)
- During the site visit, currently there's mechanical equipment visible
- By adding this parking deck, it will make it more attractive, slightly more aesthetic especially with the fence
- If the neighbor is in support of the project, fine with it
- Fine with the design, but there's no hardship to support a variance

Laura Dewar-

- Agrees that having parking on a hill to relieve parking issues with neighbors is very important
- If the neighbor is in support of the project as design, I would support it as well for a variance
- The one thing to add would be, all of the equipment below should be screened and sound proofed, since improving what's there would be a good idea.

Mark Fritts-

- One thing that is striking on this lot is the amount of parking currently existing
- Struggling to see where there's a hardship to need to build into the setback
- Unattractive platform for parking

- Neighbor might be fine with it, however, there is no compelling reason to say it's a great design or that the location on the lot necessitates a variance
- Struggling to see the rationale for two additional spots since there's plenty of off-street parking
- If the project goes forward, it would be nice to have some screening, soundproof for the mechanical equipment below the parking deck
- Does not support the variance for the project
- Does not support the design, the trellis doesn't do it, unless they provide a planting plan showing plants on the trellis to provide shade
- Concerned about the redwood tree

Stephen Sutro-

- A variance could work conceptually if parking was difficult, but doesn't think that this constitutes a hardship since there is on-site parking
- The design is fine since it's not very impactful from private areas
- The design is not superb but it is not visible so doesn't have a problem
- Fine with it from a design standpoint
- Does not support the variance for the project

c.	Property Address:	200 Lagunitas Road
	A.P.N.:	073-131-23
	Applicant:	Strata Landscape Architecture- Elaine Xie
	Property Owner:	Scott and Sarah Niehaus
	Zoning:	R-1:B-A
	General Plan:	VL (Very Low Density)
	Flood Zone:	X (Moderate to Low)

Project Summary: The applicant requests a recommendation to the Town Council for Design Review and a Variance. The project proposes to rehabilitate the side yard landscape to include a new swimming pool and spa, artificial turf, fire pit, patio, outdoor kitchen, retaining walls, plantings, and exterior light fixtures. The project also proposes a new auto gate that will measure 6-feet tall with two stone columns measuring 6 feet and 6 inches. A Variance is required to construct an outdoor kitchen and patio in the side yard setback.

Stephen Sutro-

- Design is beautiful
- No hardship for the BBQ in the setback for a variance
- Can approve the design of the driveway, the gate, the parking area all of it is fantastic
- Struggling with variance in the side yard with the three terraces

Mark Fritts-

- Similar place with Stephen, reduce the patio space so it will have a minimal impact in the side yard setback
- Hard to support variance

- Would not support as designed
- Likes the design, however it's asking a lot since its relatively flat and accessible
- Has trouble with a variance for an outdoor kitchen
- Should reduce the patios as much as possible if not eliminate the one where the outdoor kitchen is
- Might be interesting to look for a similar stone pattern for the auto gate, to keep the continuity as the existing

Laura Dewar-

- Design looks nice
- Likes the materials selected
- The patio near the pool in the setback will not change the use and impact to the neighbor more and would support that
- If there's a way to look at to minimize or bring it in some
- It's a large lot but the layout is odd with placing the pool in the front yard
- Perhaps they explored all other options where they can put the BBQ and with the neighbor support though, that was the best location

Mark Kruttschnitt-

- Agrees with Stephen
- Lovely design, practical, and done really well
- Impossible to say there's a hardship
- A hardship for a deck and an outdoor kitchen doesn't really exist on this lot
- Agrees with ADR members it's a great design but there's no hardship to grant the variance

Adjournment at 6:55 PM.

The next scheduled regular meeting date and time will be December 17, 2024, at 6:00 PM.